

JAPARA
CARLINGFORD

Architectural Design Report

September 2019

SITE

The subject site is located approximately 27kms north-west from the Sydney CBD and 9kms north-east of Parramatta CBD.



Executive Summary

Following our first presentation to the planning panel, the design team have made the following amendments to the design.

In general terms the built form is now more reactive to the adjoining residential architecture. This is evident across boundaries that have a two or three level dwelling as the new proposed residential care facility reflects that scale of built form. Consequently, the building has become more articulated in terms of height. Where there have been significant reductions in wall length, building foot print and gross building area. This reduction equates to 1200 square metres of gross reduced floor area.

Additionally, we have modified the elevations best seen in the architectural renders so that from Murray Farm Road the building appears to relate to the land use pattern of the surrounding suburb.

The material palette now holistically supports the building in fitting into the context of Carlingford. The refined

patina of brickwork, aluminium glazing, timber window screens pergolas and trellises are all derived from the native vegetation on site.

The integration of the building into the landscape setting will also be more enhanced with these refinements. Overall, we have developed a residential care setting that is primarily focused on the experience of the residents as well as the staff who will provide care to those residents. They will experience a strong connection to the natural environment and excellent amenity of outdoor spaces. Biophilic response and engagement has been proven to have strong restorative qualities that address the broad wellness of residents.

The proposal now has a fine grain quality that aims to be a place of intimate personalised care for older Australians in a setting that is non-institutional and part of the landscape.

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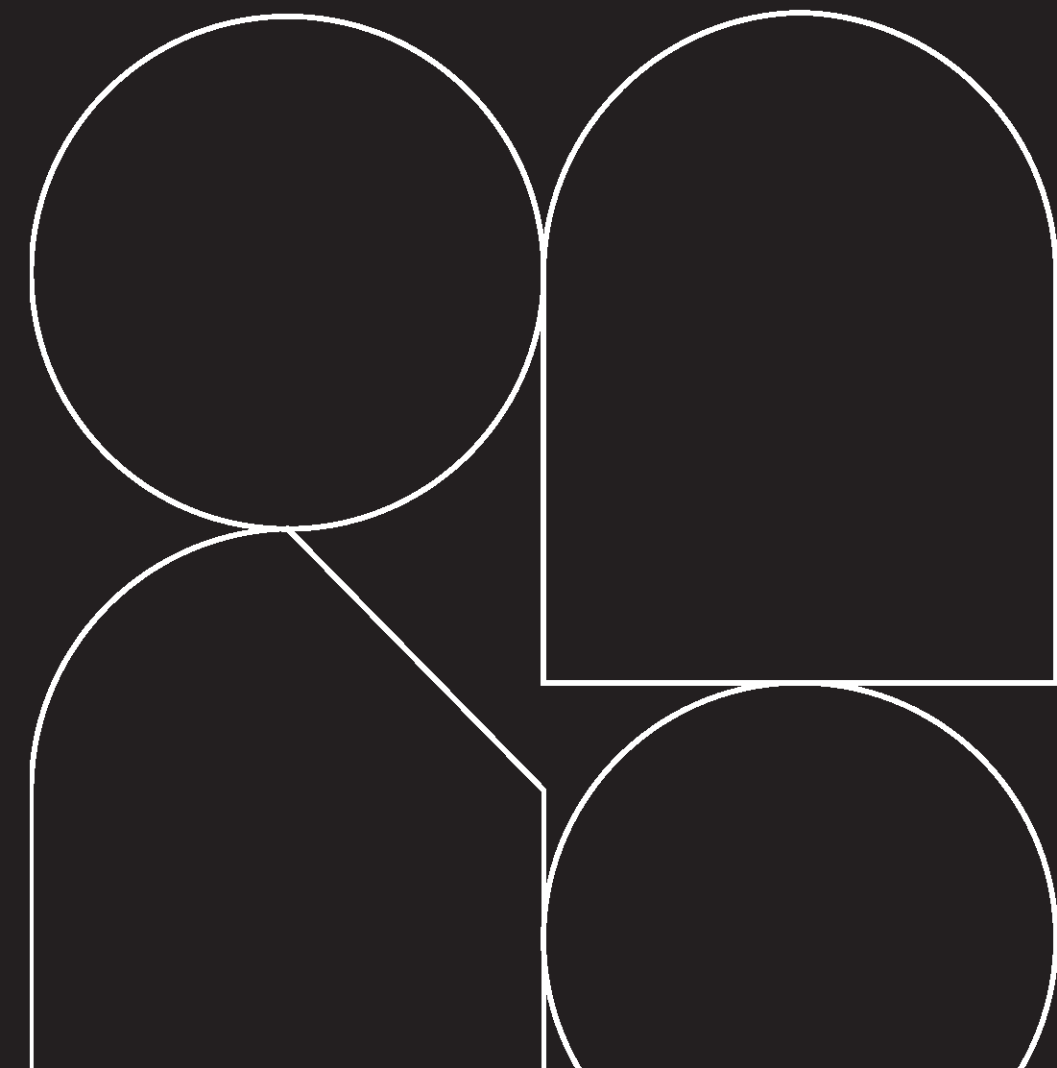
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Urban Design Analysis



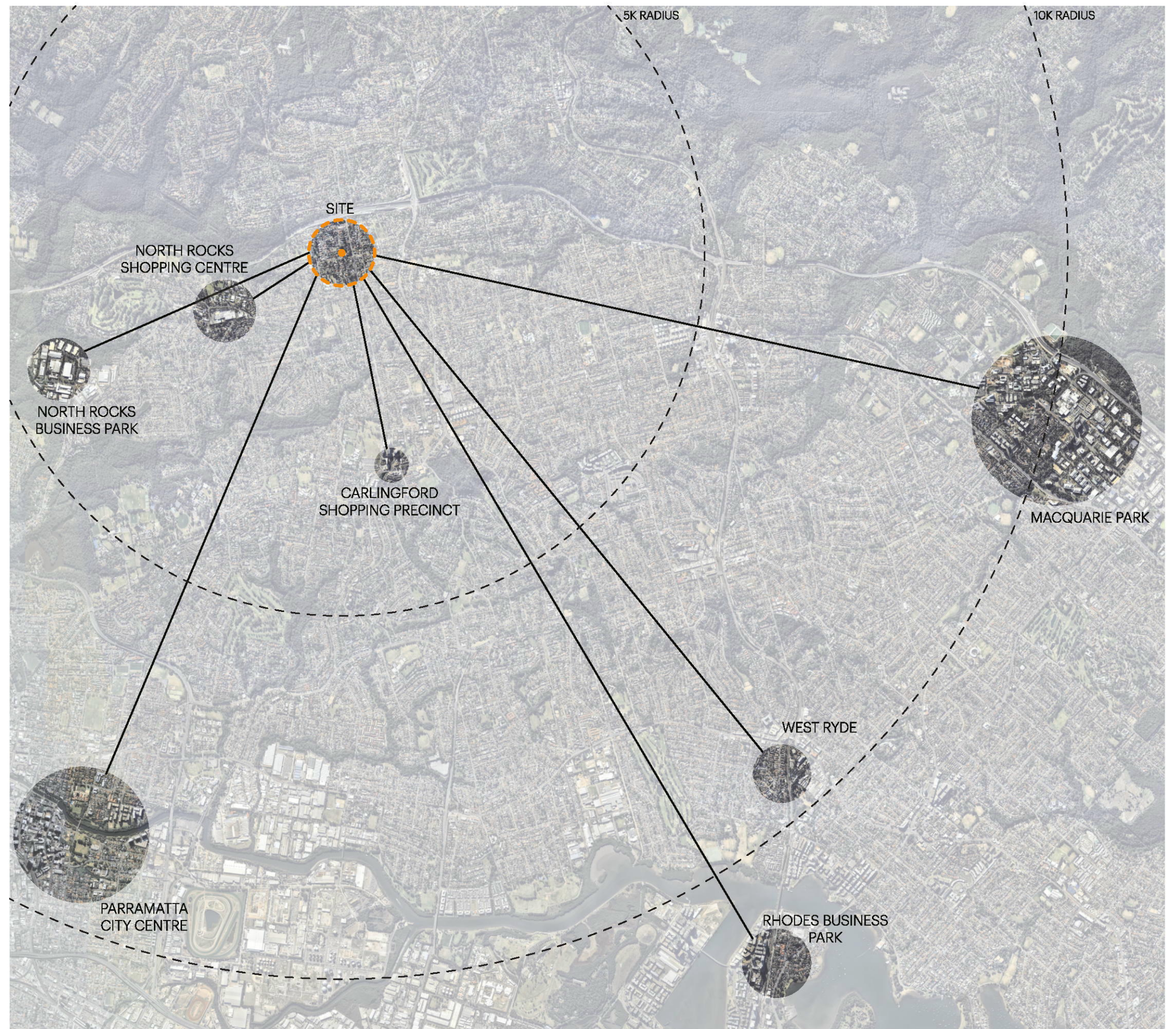
SITE PRECINCT PLAN

Carlingford is located approximately 22 kilometres north-west of the Sydney CBD in the local government area of City of Parramatta. Carlingford is on the north-eastern outskirts of the Greater Western Sydney region and is on the south-eastern outskirts of the Hills District and western outskirts of Northern Suburbs.

The major Carlingford shopping and commercial areas are located on Pennant Hills Road. The main small to medium-sized shopping centres are Carlingford Court and Carlingford Village.

The suburb has a high density of individual dwellings with multi-residential developments, 18 - 20 floors high under construction close to the Carlingford shopping precinct.

The site is located reasonably close to some of the major up-and-coming business centres of the greater Sydney region. It's located within 10kms of the Parramatta CBD, Macquarie Business Park and the North Rocks business park amongst other smaller business centres.



SITE CONTEXT

Carlingford as a suburb was formed in the 1860’s as a farming area. The primary development however was post WWII when the major housing subdivisions were undertaken. This rapid urbanisation of the suburb was typical of the dramatic growth of Sydney in this period. The Murray Farm Road precinct is characterised by largely single lot residential dwellings. The road network is typical of the older suburbs of Sydney with an irregular street pattern that does not follow the contours or a regular grid. The buildings therefore follow a stepping profile in respect to the topography.

The growth of residential building in this locality has taken place in the 1960’s and 1970’s, and is typically two storey masonry domestic dwellings with a dominant driveway and mature garden plantings and street trees.

This specific site was previously a bus depot which is why it is so large in comparison to the surrounding lots.

The dominant feature of the context is mature trees and large crops of Sydney Blue Gums, Turpentines, Spotted Gum and Ironbark.

The overall topography is a small valley which this site is partially at the lowest point. Consequently, there are numerous view points from surrounding properties effectively looking down upon the tree canopy that currently exists and will be retained.

LEGEND

SITE BOUNDARY

LOTS

RETAIL

SCHOOL / PRIMARY SCHOOL

PARKS / GREEN CORRIDOR(S)

CLINIC / G.P

BUS STOP

MAJOR ROADS

FREEWAY



BUILDING HEIGHTS

The typical residential dwelling stock is two and three storey houses.

These dwelling houses are set deep into the lots in some instances, often on the higher part of the land, thus offering district and valley views. The consequence of this is that the appearance of some dwellings is large from the public domain and framed by very mature trees, mainly Sydney Blue Gums, Iron Bark and Yellow Box.

Building height mitigated by the topography adds additional perceived height to many dwellings in this precinct of Carlingford.



- LEGEND**
- SITE BOUNDARY
 - 2.5 / 3 STOREYS OR ABOVE
 - PARKS / GREEN CORRIDOR(S)
 - MAJOR ROADS
 - FREEWAY

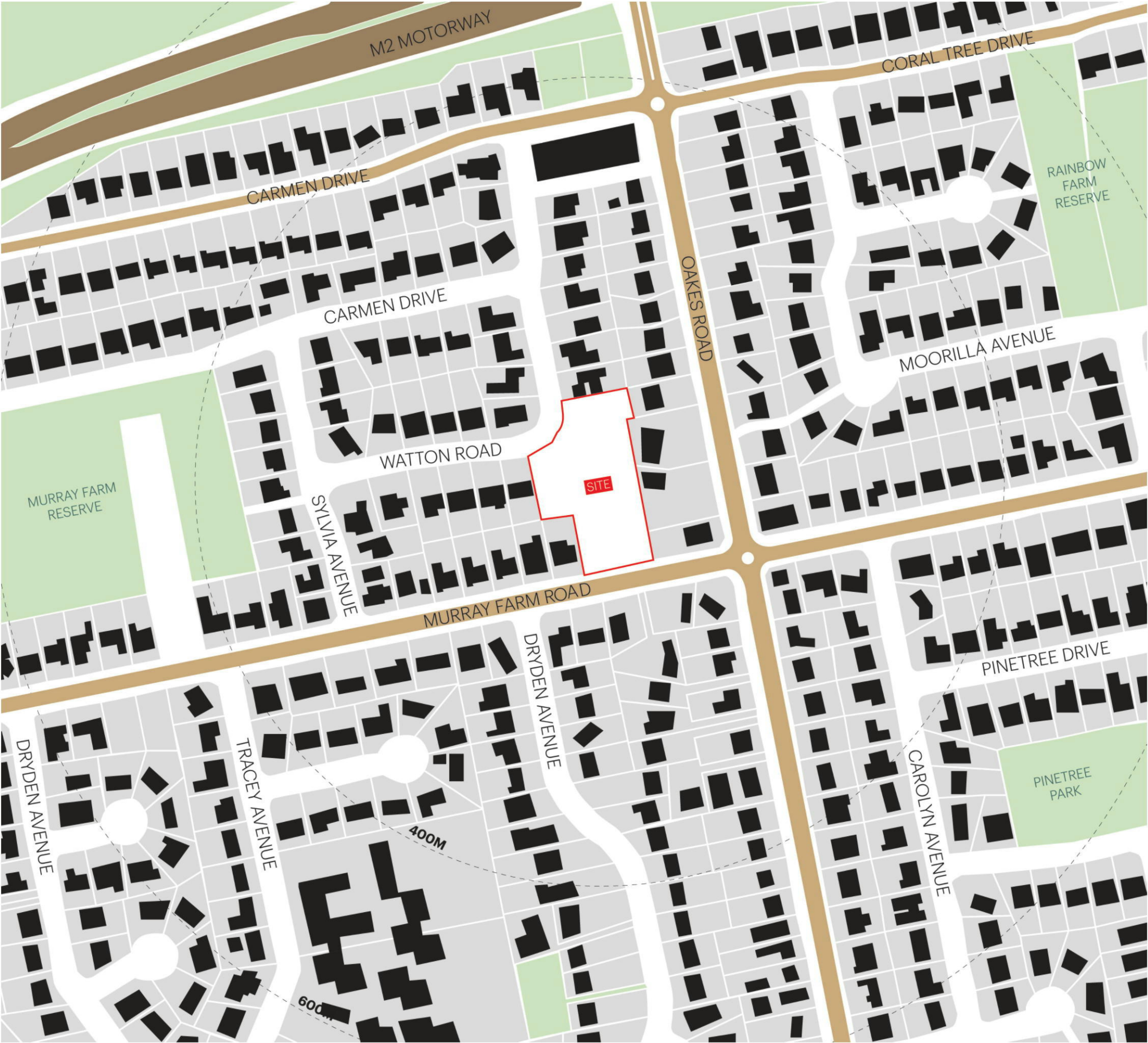


EXISTING BUILT CHARACTER

The existing building character of the architecture has no defining style apart from a consistent pitched roof form – presenting as either a gable roof or a hip roof.

Masonry in the form of face brickwork is common and is utilised as a front fence material and frequently on the whole dwelling. Second floor additions are common and have often been undertaken in a manner that is unsympathetic or out of character with the original structure.

There are signs of some gentrification within the precinct with the construction of hi-spec project homes.



LANDSCAPE FEATURES

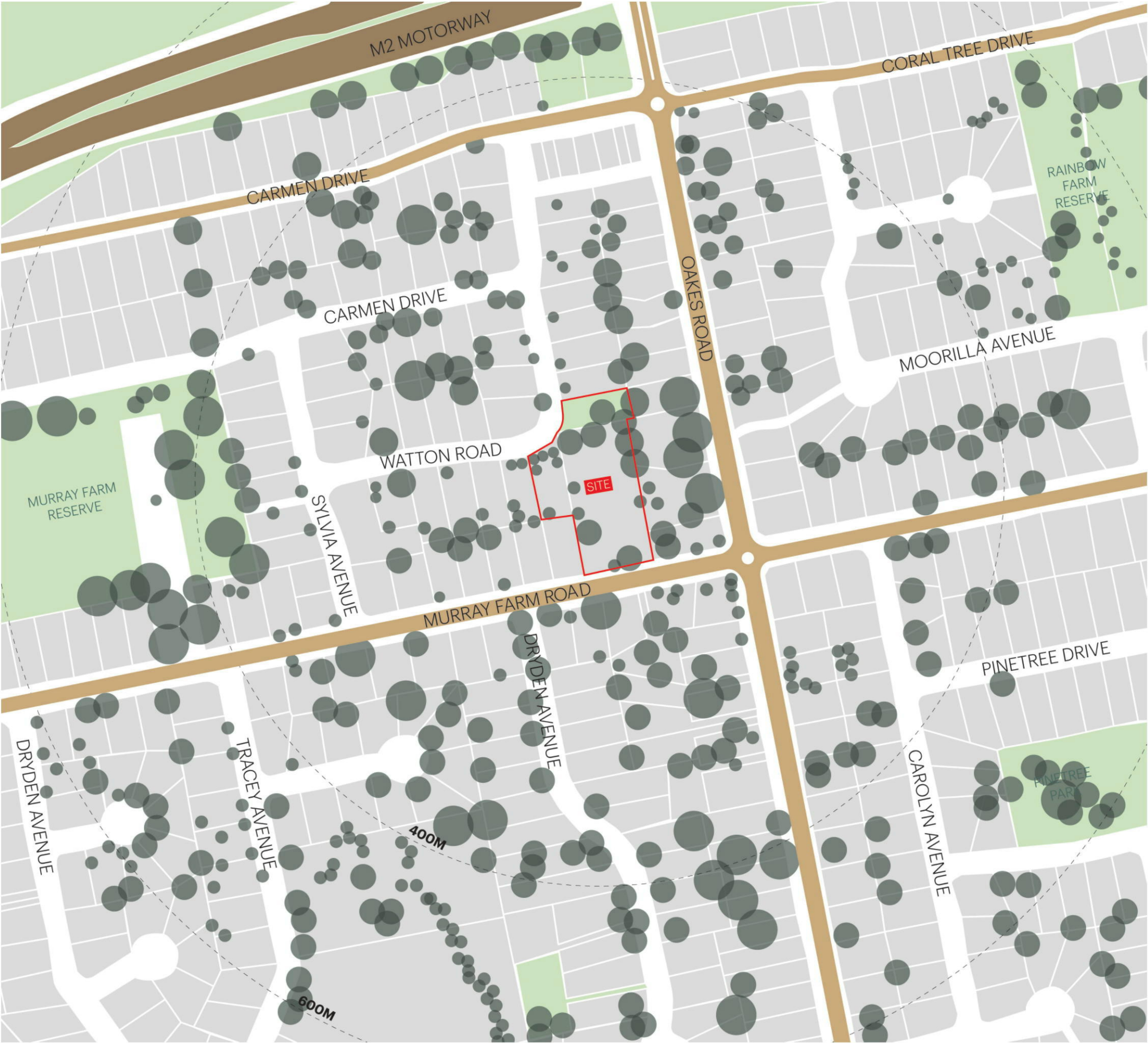
The dominant feature of this site is two significant stands of mature Sydney Blue Gums and a single large tree.

The design retains all these feature trees and gives them prominence in the design, and the relationship between the internal rooms of the facility to these landscape feature elements is very strong.

The social spaces of the facility address a diversity of outdoor spaces, each of which is defined by the existing tree cover enabling a strong connection to nature.

Typical species include Sydney Blue Gums, Sydney Red Gums, Brush Box, Tallowwoods and Swamp Sheoaks.

The typical height of most trees lies in the range of 15 - 20 meters.

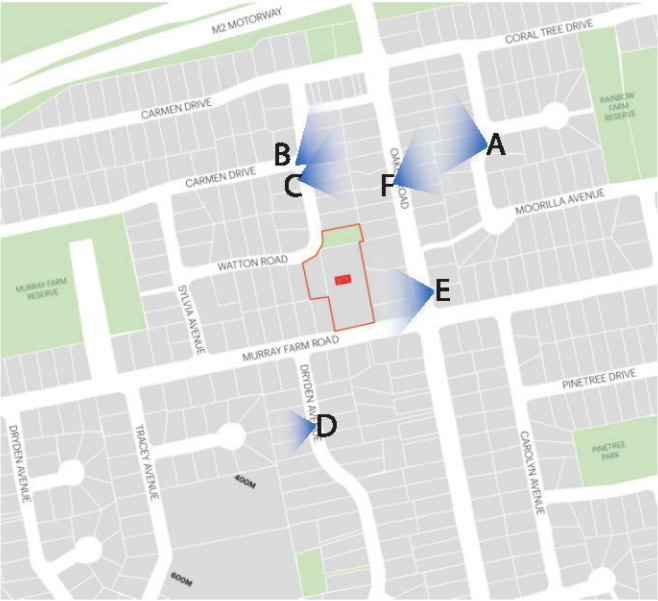


EXISTING URBAN CHARACTER

The land size of this proposal is larger than the surrounding residential lot context.

The urban pattern is predominantly free-standing dwellings on residential lots.

Our proposal seeks to fit into this context by presenting a two-storey element to the primary address on Murray Farm Road whilst preserving the street character which is defined by the landscape setting and planting.



A. 6 MOORILA AVE



D. 62 DRYDEN AVE



B. 31 WATTON RD



E. 39 MURRAY FARM RD



C. 27 WATTON RD



F. 74 OAKES RD

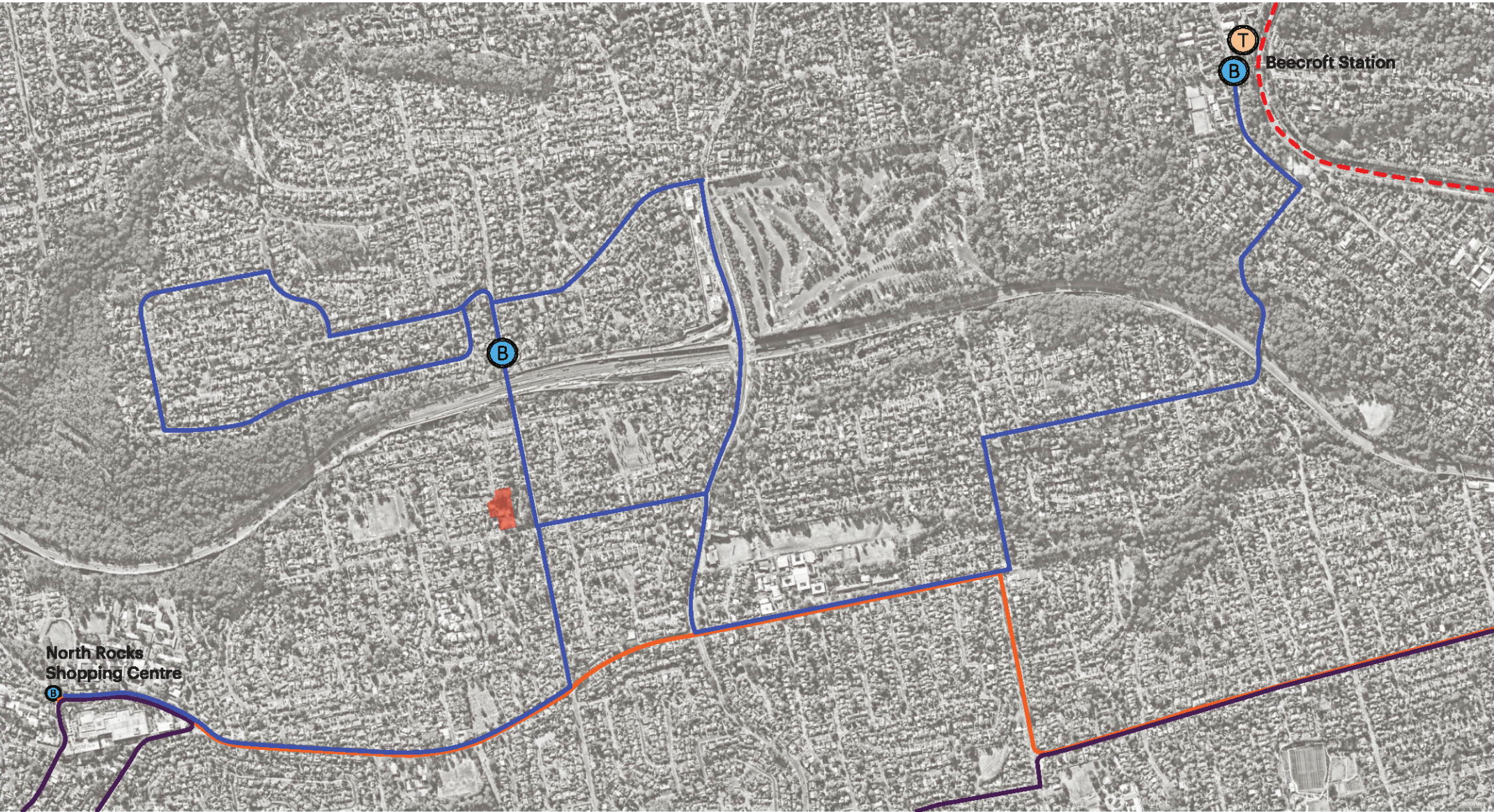
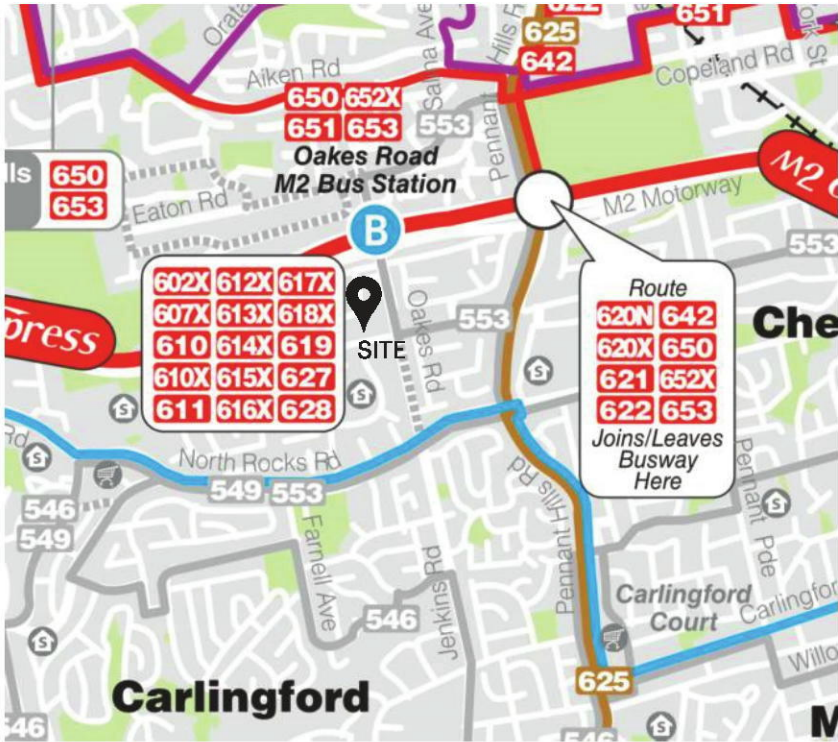
BUS ROUTES

Bus Route 553 runs along Oakes Road and provides access to both North Rocks Shopping Centre and Beecroft Train Station as per below. The buses servicing this route accommodate disabled access.

The site is in close proximity to the M2 Motorway. The M2 is frequently serviced by buses. The image on the far right shows the bus routes that could be used by residents and staff.

The Oakes Rd M2 Bus Station (Stop ID 212511) which is within 400m of the site (5min walk) services the following bus routes:

- 602X Rouse Hill Town Centre to North Sydney
- 607X Rouse Hill Town Centre to City
- 610 Rouse Hill Town Centre to City
- 610X Rouse Hill Town Centre to City
- 611 Blacktown to Macquarie Park
- 612X Kellyville to Milsons Point
- 613X Bella Vista to City
- 614X Crestwood to City
- 615X North Kellyville to City
- 616X Kellyville Ridge to City
- 617X Rouse Hill to City
- 618X City to Norwest Business Park
- 619 Rouse Hill Town Centre to Macquarie Park
- 627 Castle Hill to Chatswood
- 628 Chatswood to Norwest Business Park



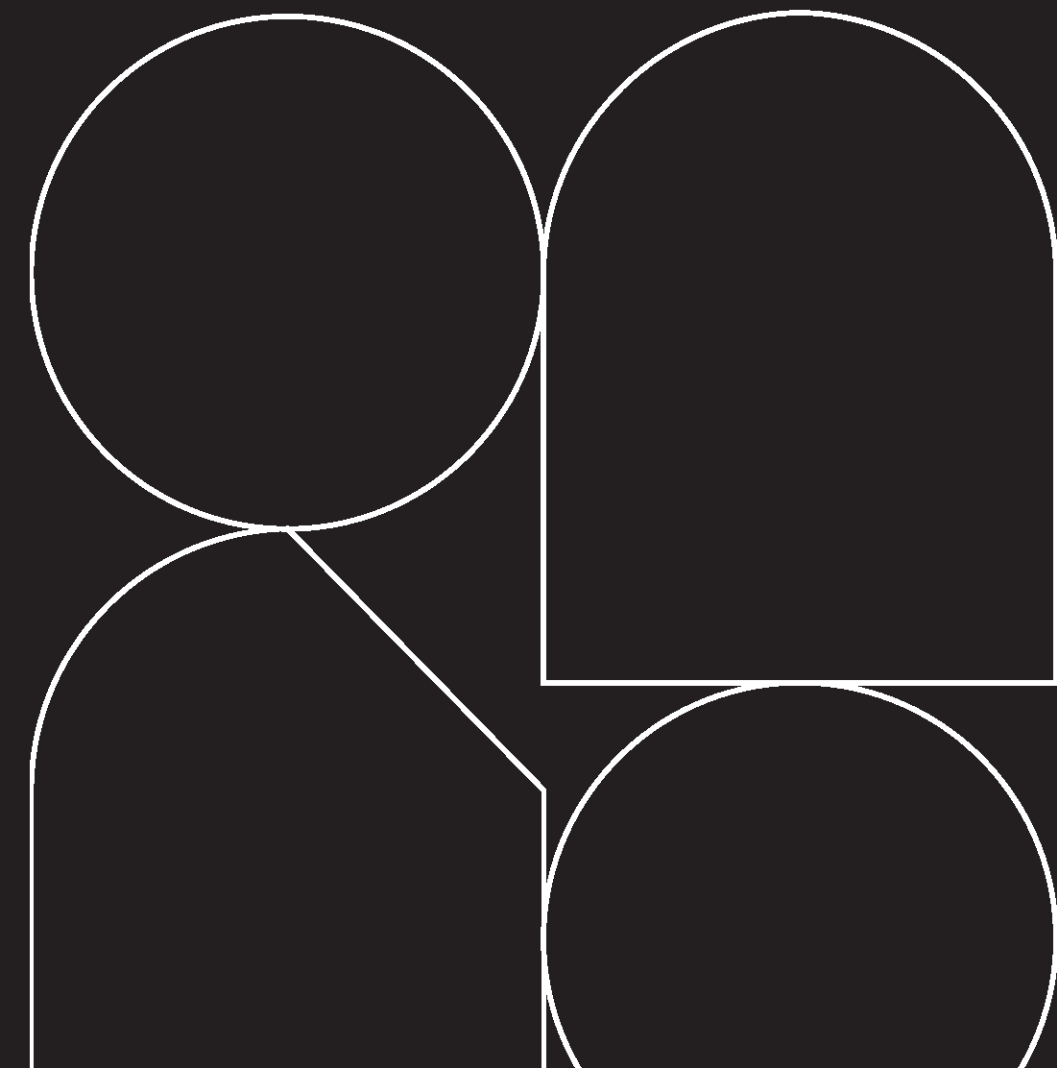
- Route 553
- Route 549
- Route 546
- Railway route

PROXIMITY TO OTHER NURSING HOMES

There's an existing scarcity for nursing homes in the suburb of Carlingford. The image below depicts the proximity of the proposed facility to other aged care facilities in the precinct.

Given the projected annual increase in numbers of the 'over 55s age cohort' for the region, and the existing shortage of facilities, this development will provide a much-needed opportunity for older people and people with a disability to remain in their local area.





Site Information

SITE HISTORY

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The overall topography is a small valley which this site is partially at the lowest point. Consequently, there are numerous viewpoints effectively looking down upon the tree canopy that currently exist and will be retained.



2007



2018



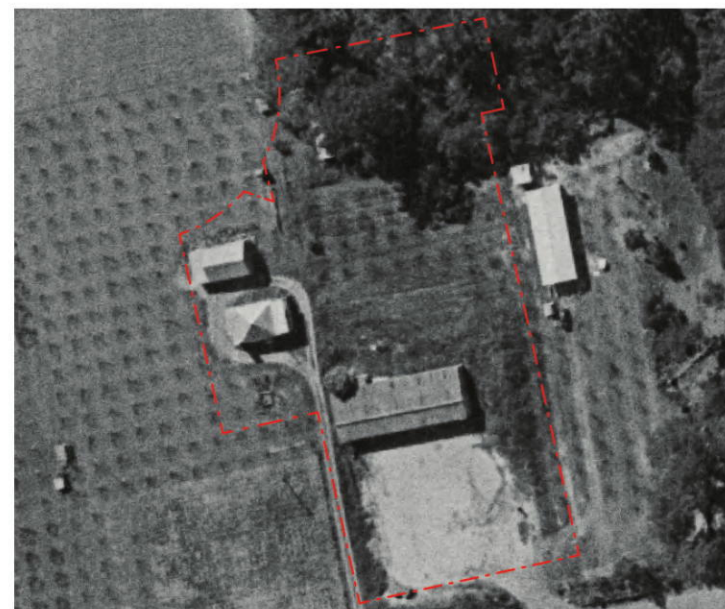
1986



1994



1955



1965

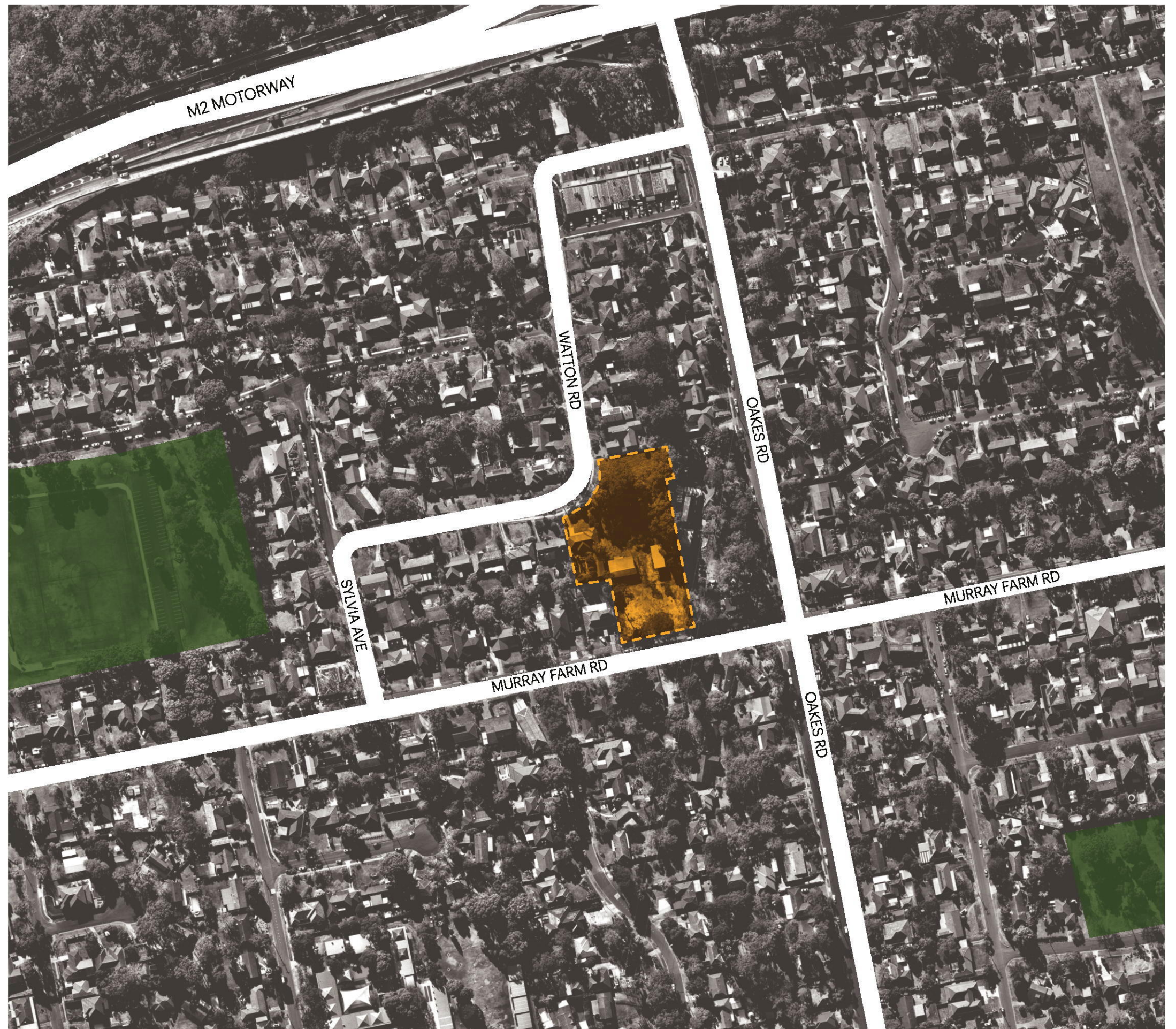


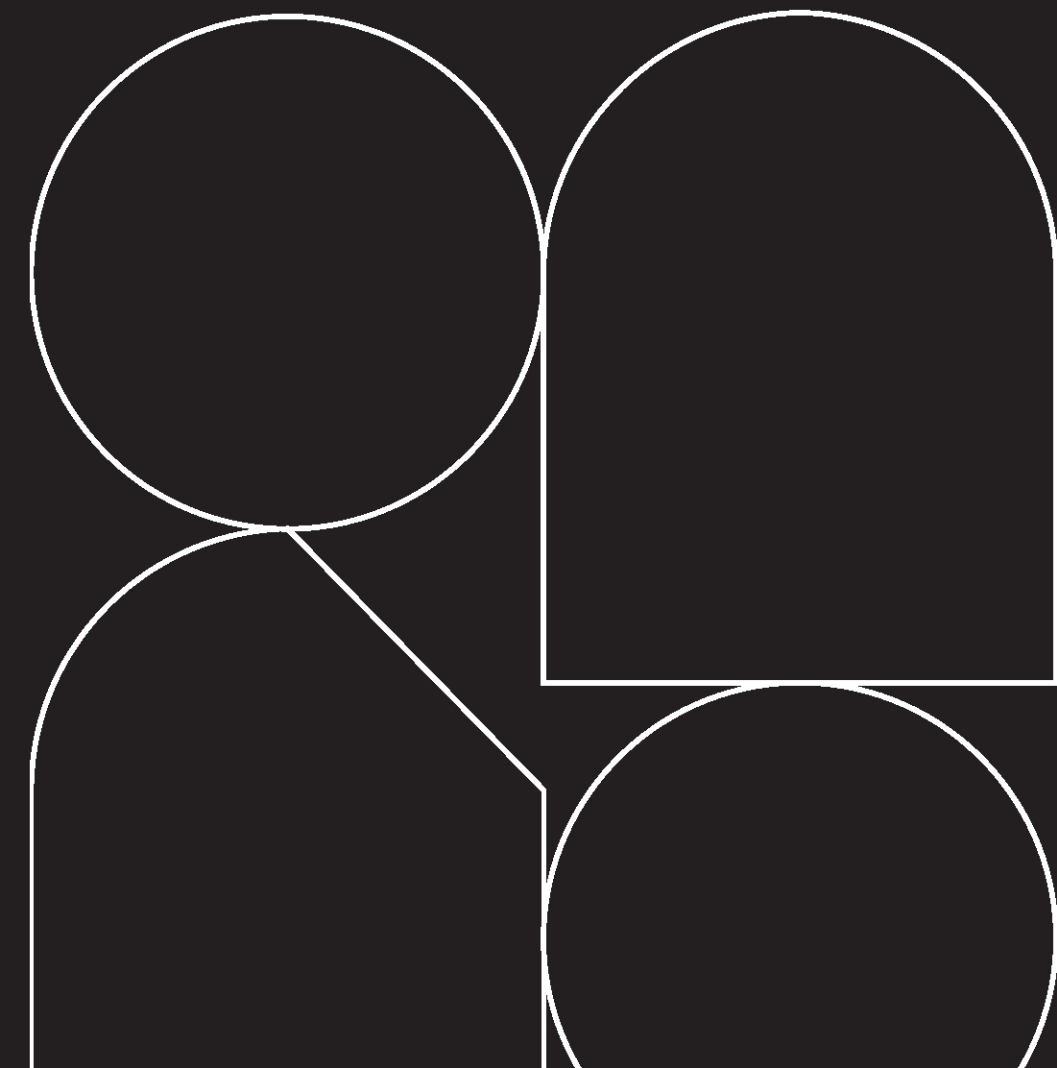
1975

STREET PRECINCT PLAN

The subject site is nestled between two secondary streets - Watton Road and Murray Farm Road. The two roads connect onto Oakes Road, which is serviced regularly by Sydney Buses. Oakes Road links the site with the M2 Motorway.

The site is positioned in a lush low-density residential precinct.

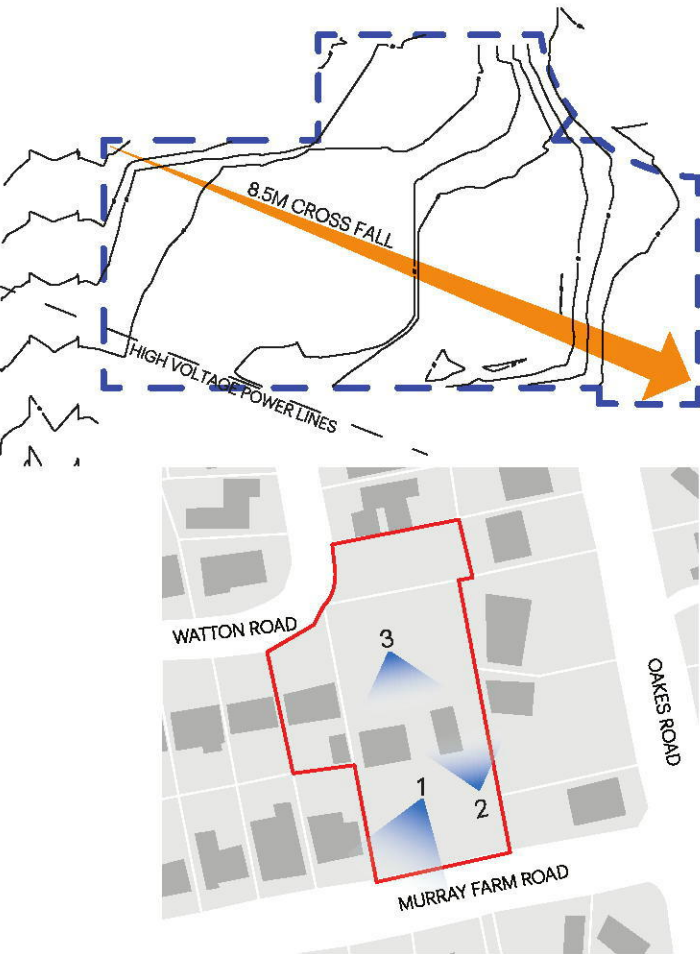




Existing Site Conditions

EXISTING SITE CONDITIONS

The existing site embankments and 8.5 m cross fall has made this vacant site a great opportunity for this facility. The current site conditions and existing landscape have been part of our design process in which we have aimed to maintain natural levels and existing trees.



EXISTING SITE CONDITIONS

The north end of the site will remain vacant with no built form, allowing a greater rear setback and generous landscape for the proposed facility. The underutilisation of this magnificent site and extensive vacant land allows us to locate this facility in the midst of it, maintaining the significant trees and proposing adequate setbacks.



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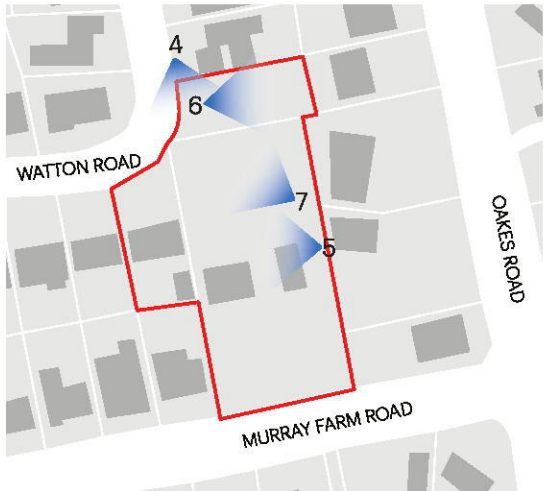
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7



5



VIEW FROM MURRAY FARM ROAD

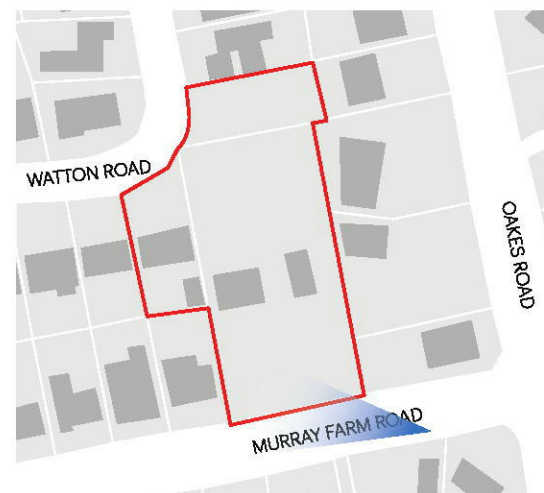
Murray Farm Road has significant trees which have been recognised and maintained in our proposal. The driveway access to 41A Murray Farm Road, adjacent to the site boundary serves as a buffer to 39 Murray Farm Road and the subject site, increasing our setbacks greater than required.



VIEW FROM MURRAY FARM ROAD

The subject site has mature Sydney Blue Gums which are retained in our proposal. The site has been vacant for a while, previously utilised as a bus depot. The overhead power lines have also been taken into consideration with our overall design, which has enabled increased setbacks to Murray Farm Road and to the Eastern boundary.

The site has level access in the south-east corner. The site sits approximately 3 metres lower than the street level in the south-west corner and lower than the neighbouring dwellings to the west along Murray Farm Road.



VIEW FROM MURRAY FARM ROAD

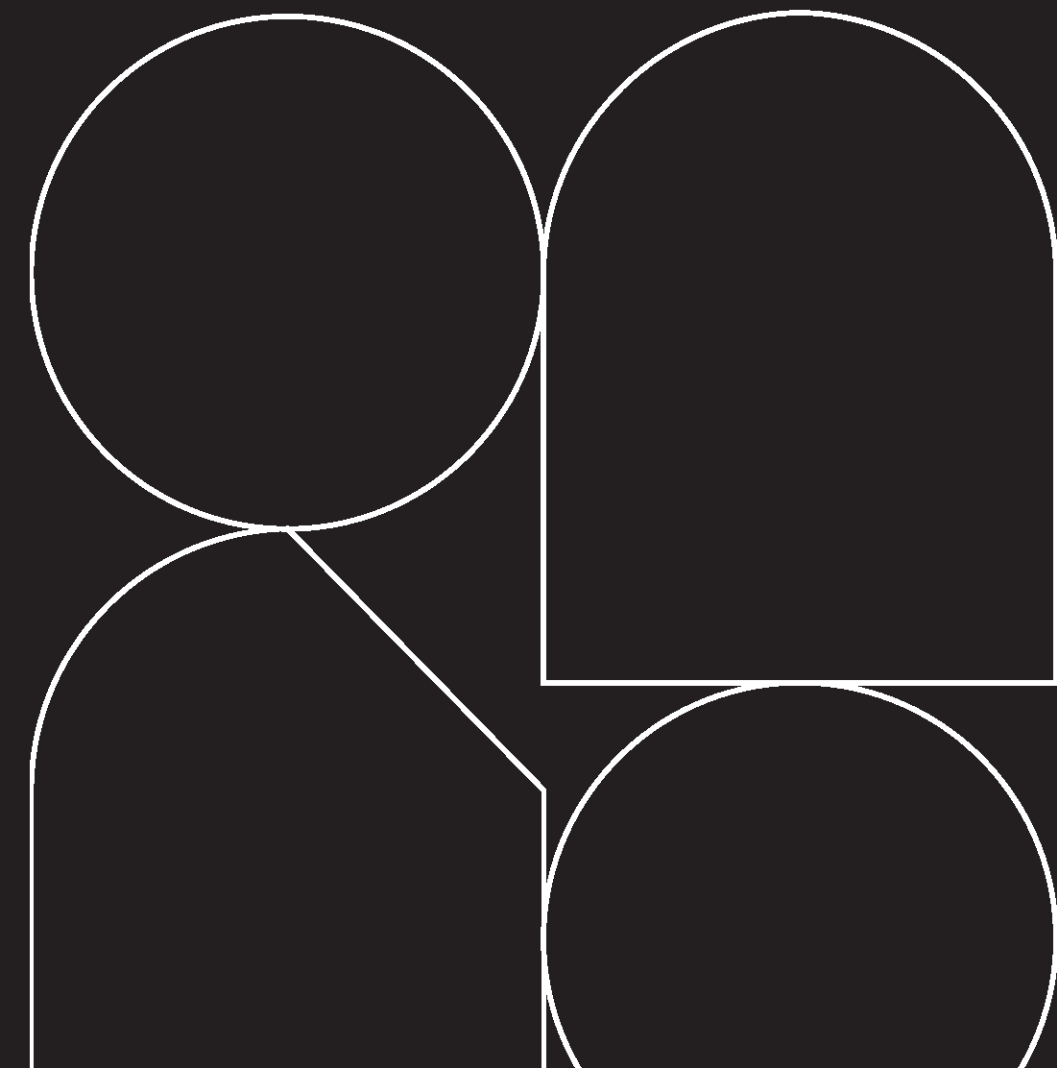
The significant slope to Oakes Road, as appreciated in the image, has been a key factor of our proposal. Due to the changes in levels, the project can fit into the urban context and blend within the existing Sydney Blue Gums.



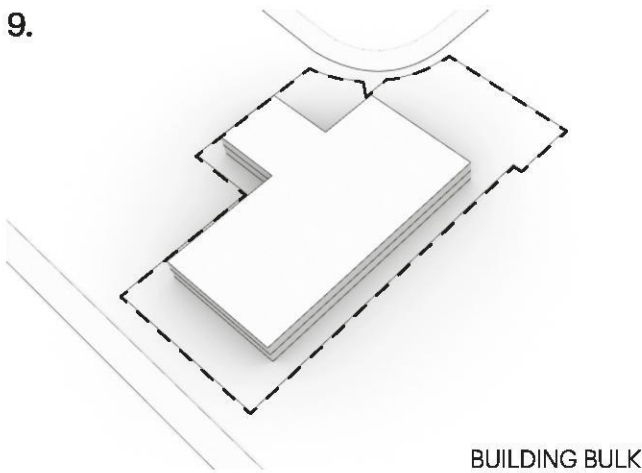
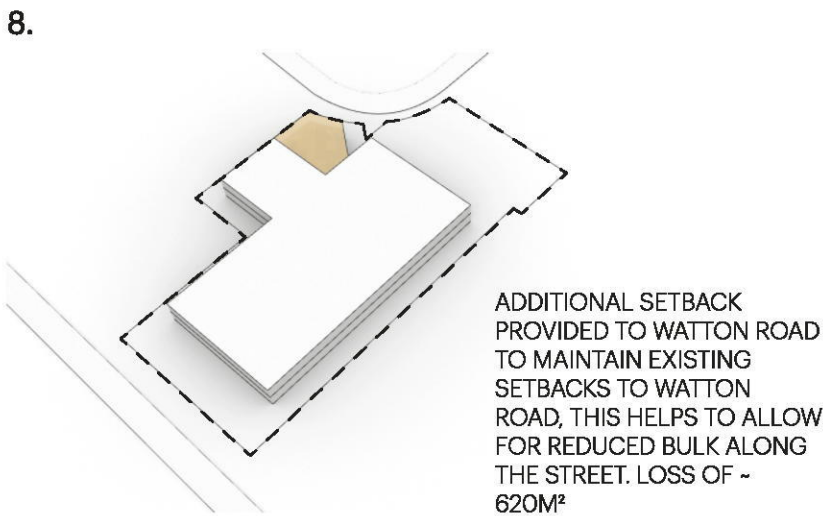
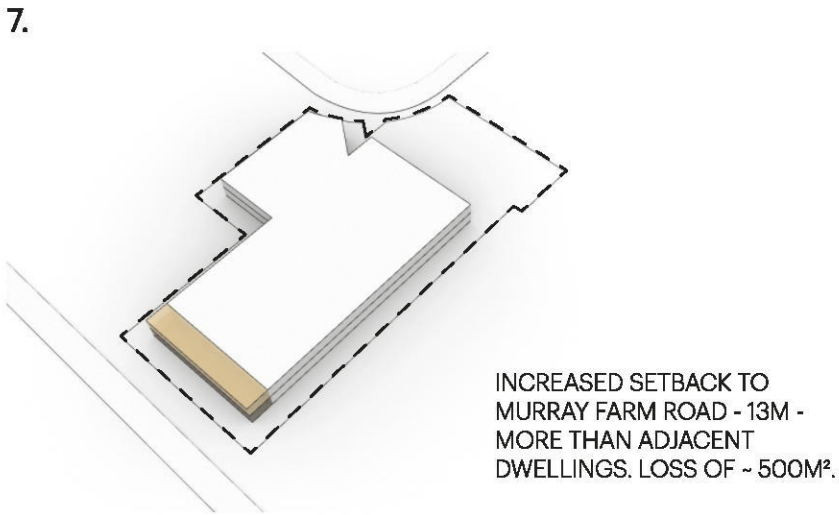
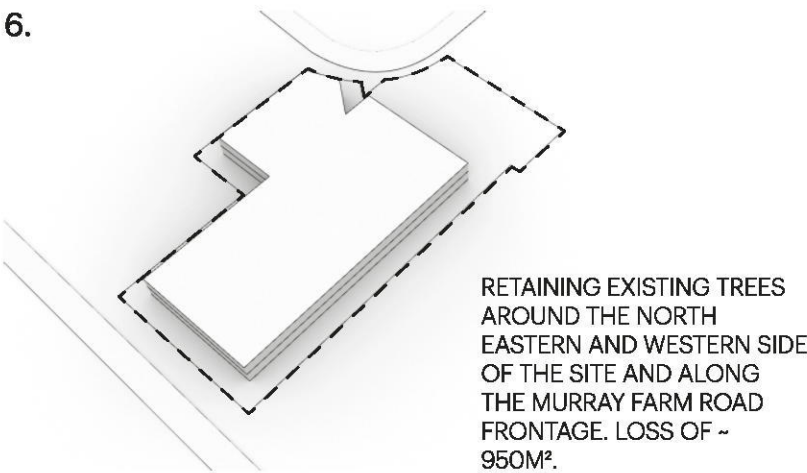
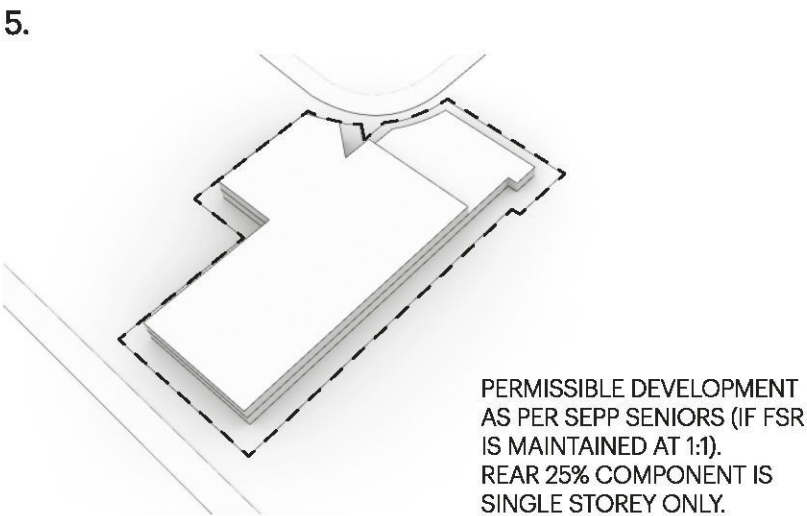
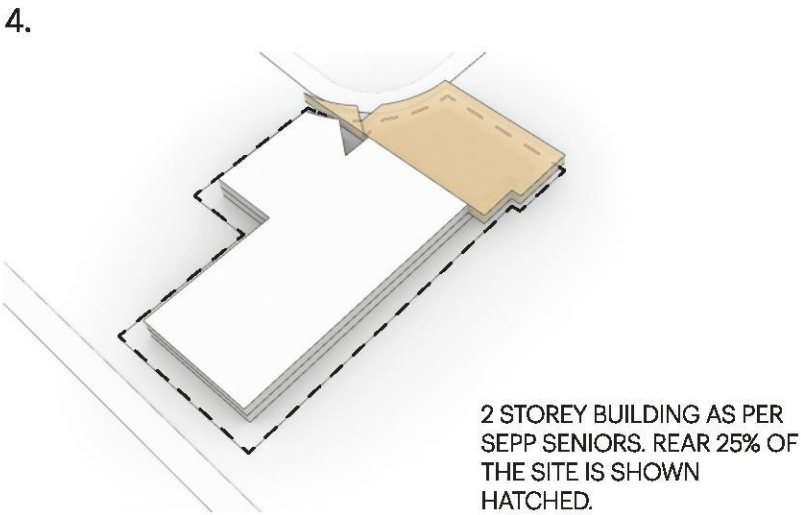
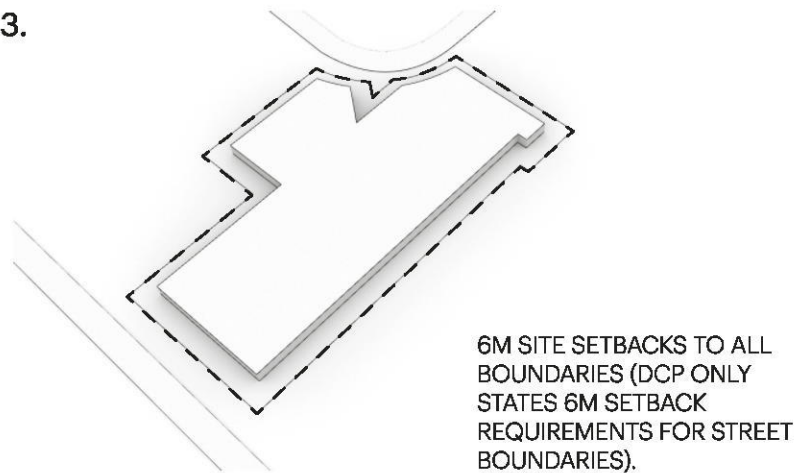
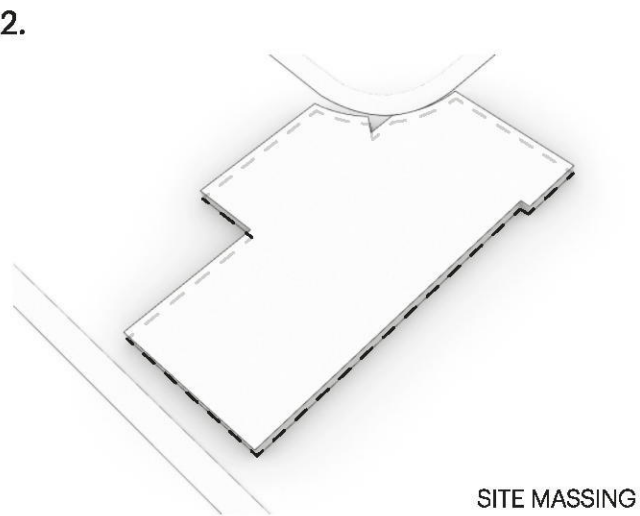
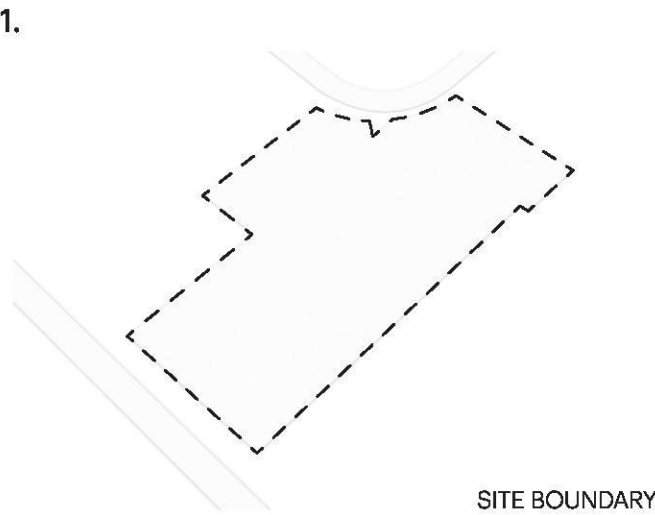
VIEW FROM WATTON ROAD

Watton Road has extensive foliage down to the subject line. The view of the site is not perceived when coming from the north side and off the M2, being one of the entries to the development. Once again, the Sydney Blue Gums have an important impact on Watton Road and enable our proposal to be tucked away from the street.

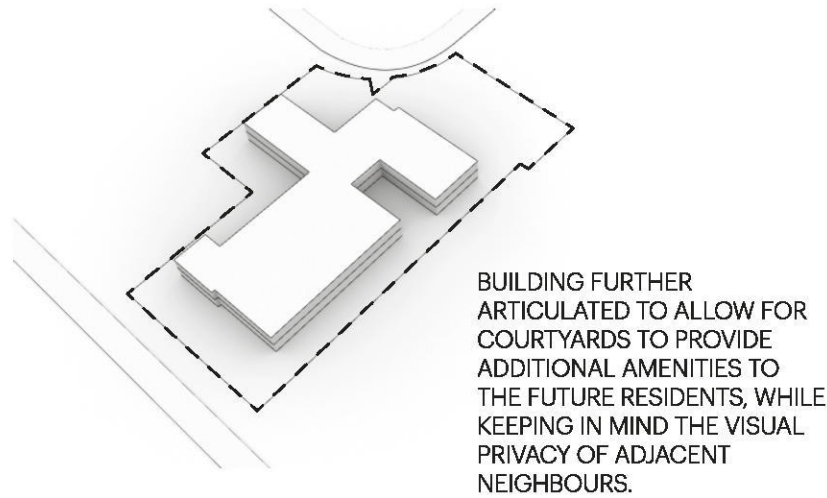




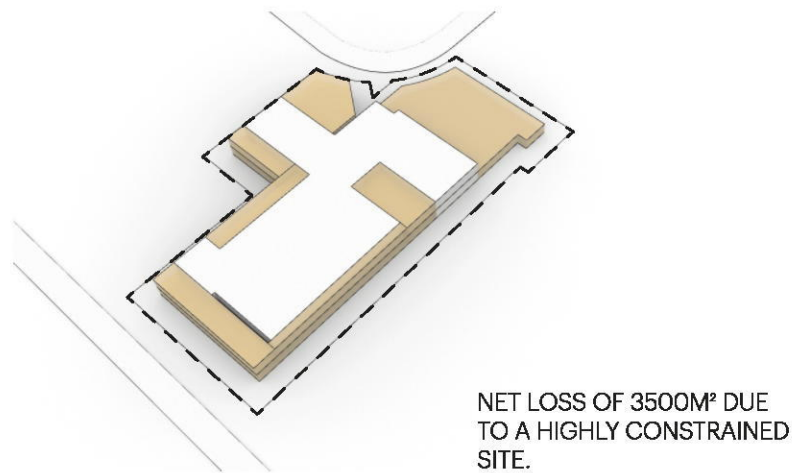
Design Drivers



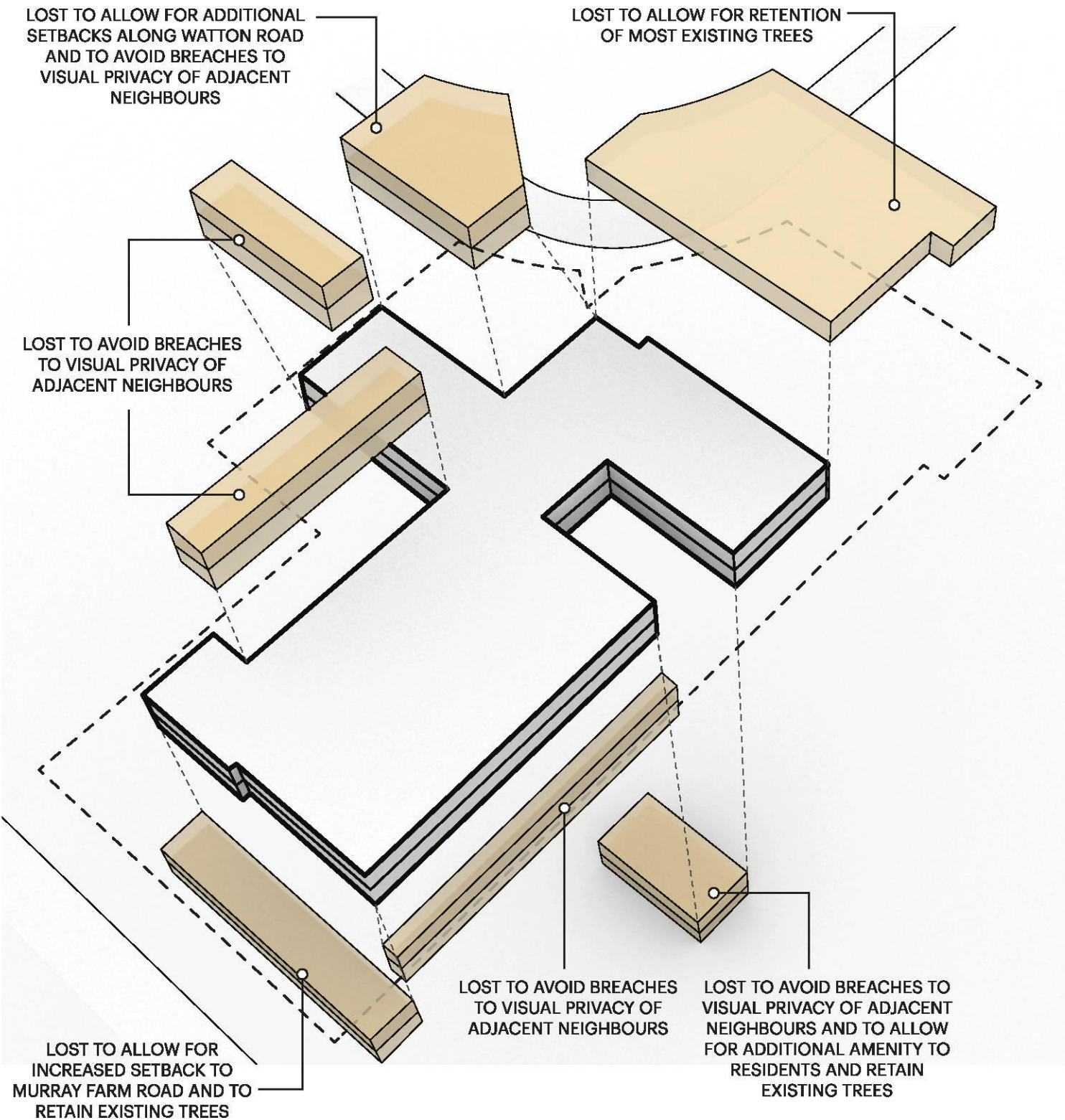
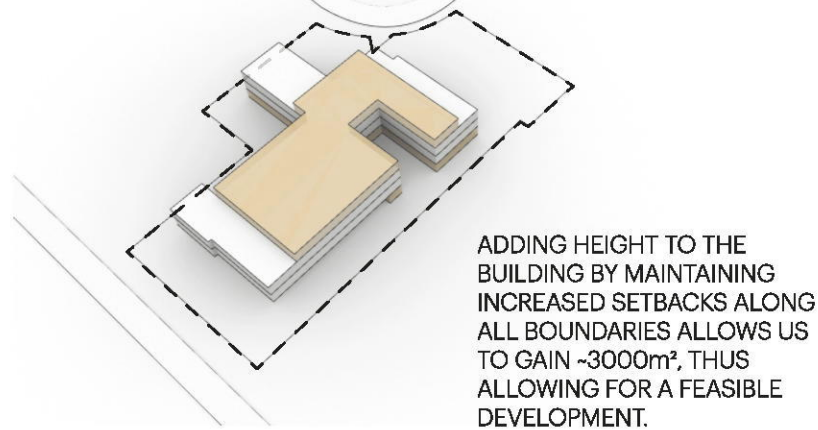
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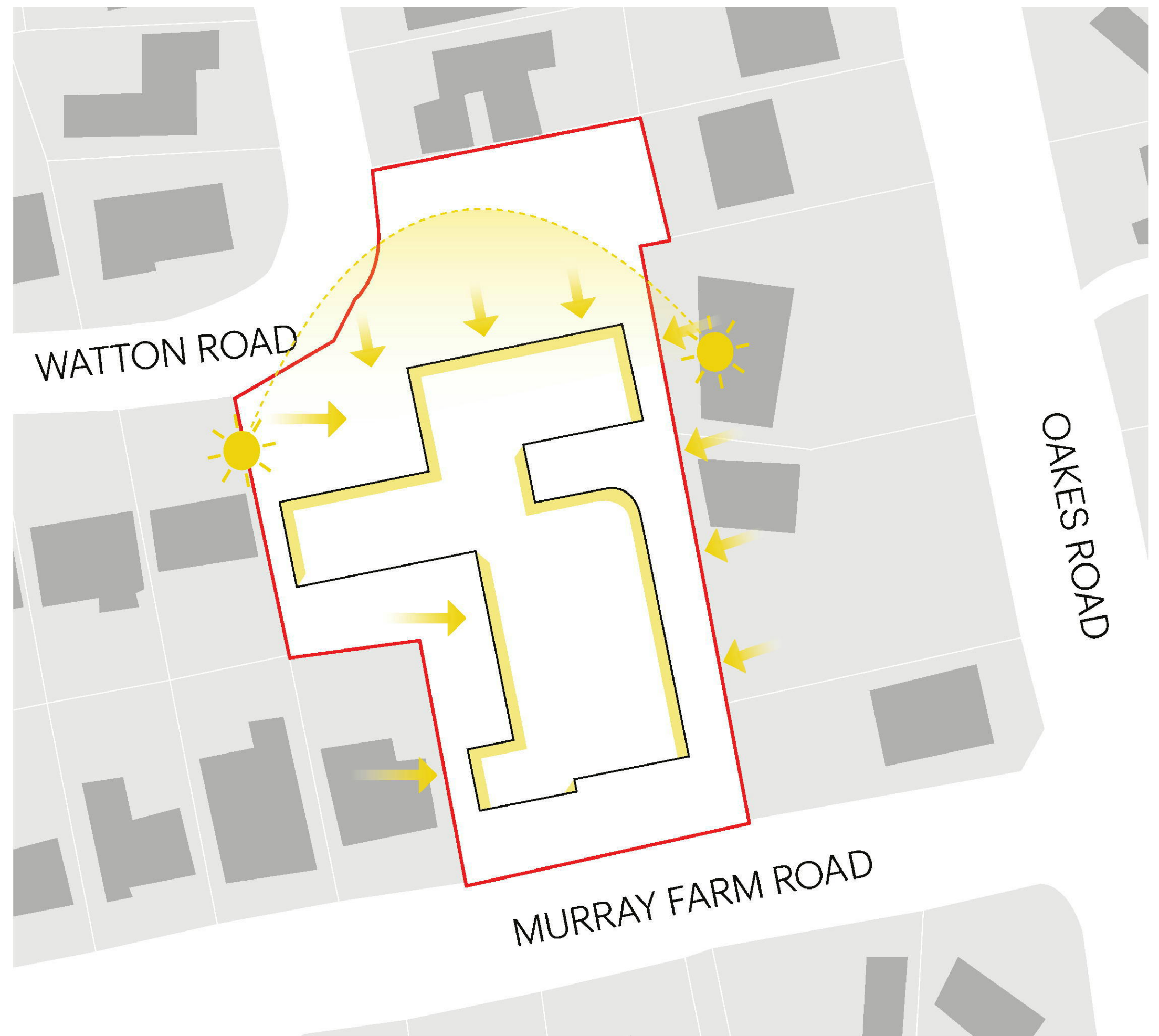
BUILDING ORIENTATION TO SUN

Creating a diversity of options for the residents is critical to the design. This proposal offers small and larger sitting spots around each neighbourhood so there is choice and a range of options for places in the sun, that are sheltered and amongst the landscape.

The terraces, courtyard gardens and garden spaces we have created are designed to enable staff, residents and visitors to be in places that are secure and intimate, where it is possible to enjoy full or filtered sun, feel the wind and hear the breeze through the trees.

The main courtyard gardens enjoy sunlight throughout the day, in particular the two northern courtyards.

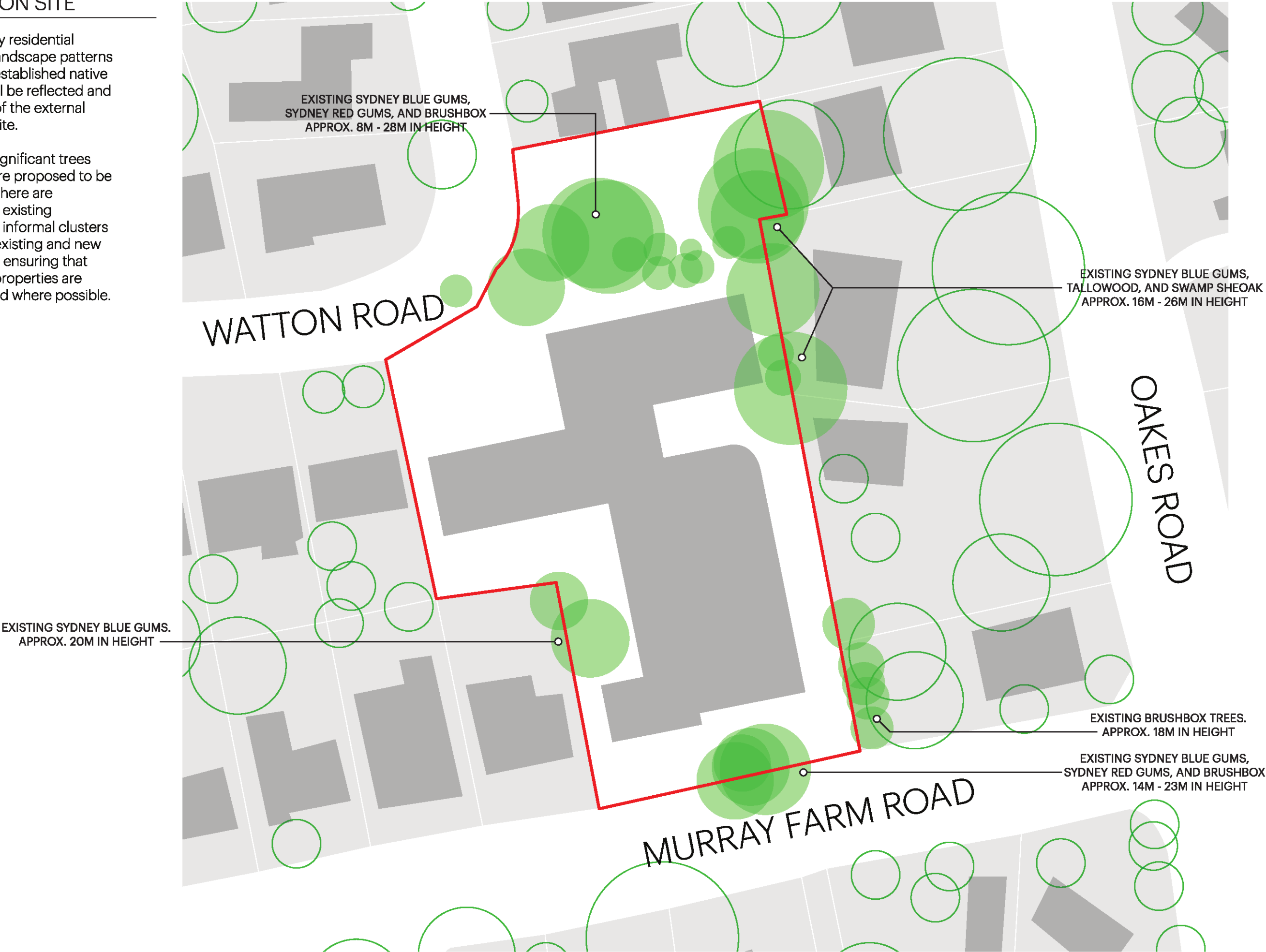
The building has a predominant east - west axis and sees natural light to its common areas and most resident rooms, which maximise their east, west and northern aspects.



EXISTING TREES ON SITE

The project is bounded by residential properties. The existing landscape patterns of the site, consisting of established native trees and low planting will be reflected and reinforced in the design of the external environment across the site.

The majority of existing significant trees (e.g. Sydney Blue Gum) are proposed to be retained and protected. There are opportunities to enhance existing landscape character with informal clusters of native planting under existing and new native canopy trees while ensuring that views from surrounding properties are maintained, and enhanced where possible.



GREEN SPACES - COURTYARDS









A combination of evergreen and deciduous planting is proposed for residents' courtyards to provide amenity and seasonal interest. Planting to the boundary will consist of native and indigenous plant species, both of which will provide screening.

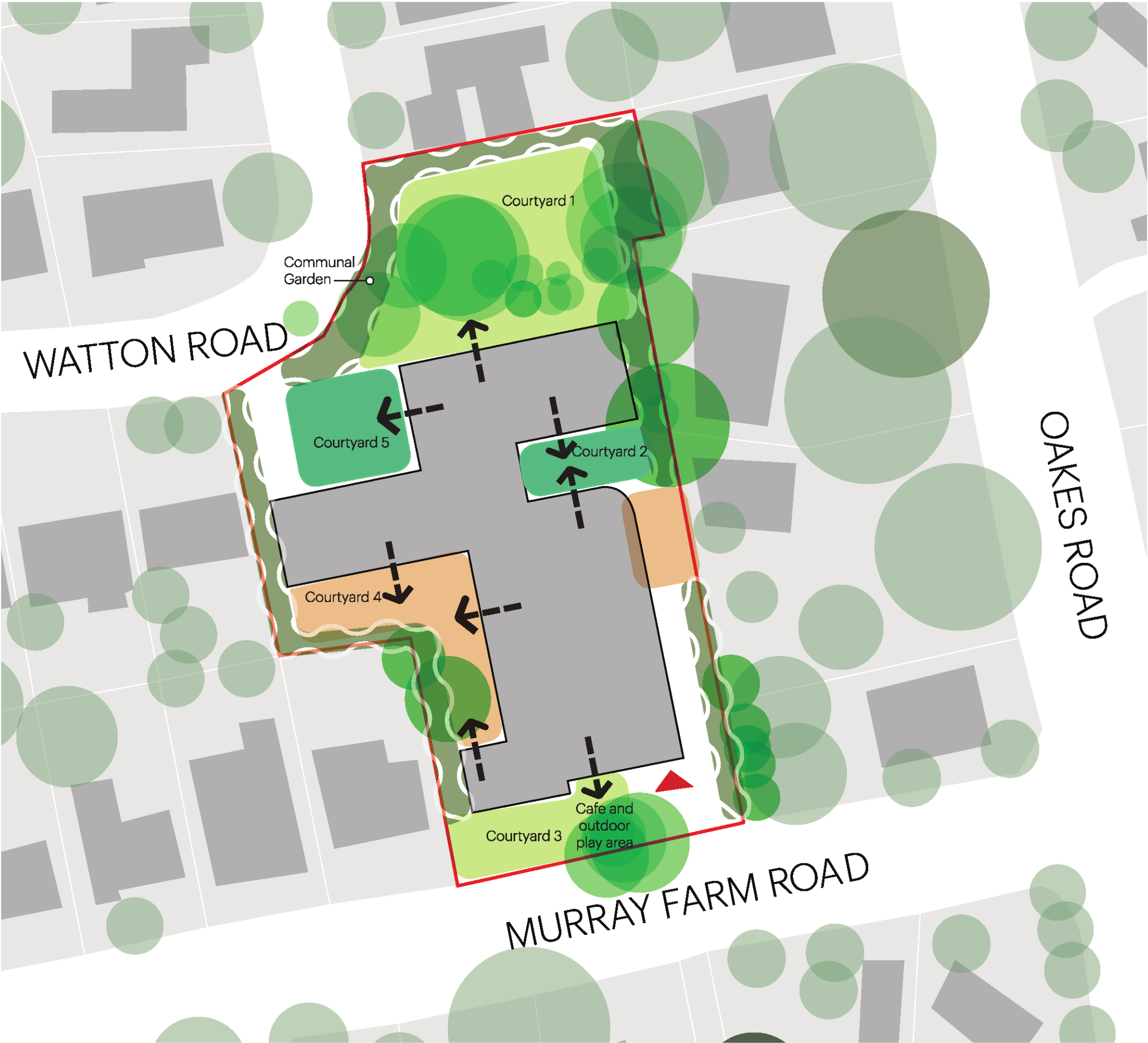
The Northern and Southern landscape areas (Courtyard 4 and 5) will be a mix of native and indigenous plant species that enhance existing landscape character.

Courtyard 2 and 3 will be a mix of native and exotic palms, ferns and other shade-tolerant low planting.

The planting within Courtyard 1 and the Eastern terrace will be a mix of native and exotic species, evergreen and deciduous, to maintain screening but also provide solar access.

LEGEND

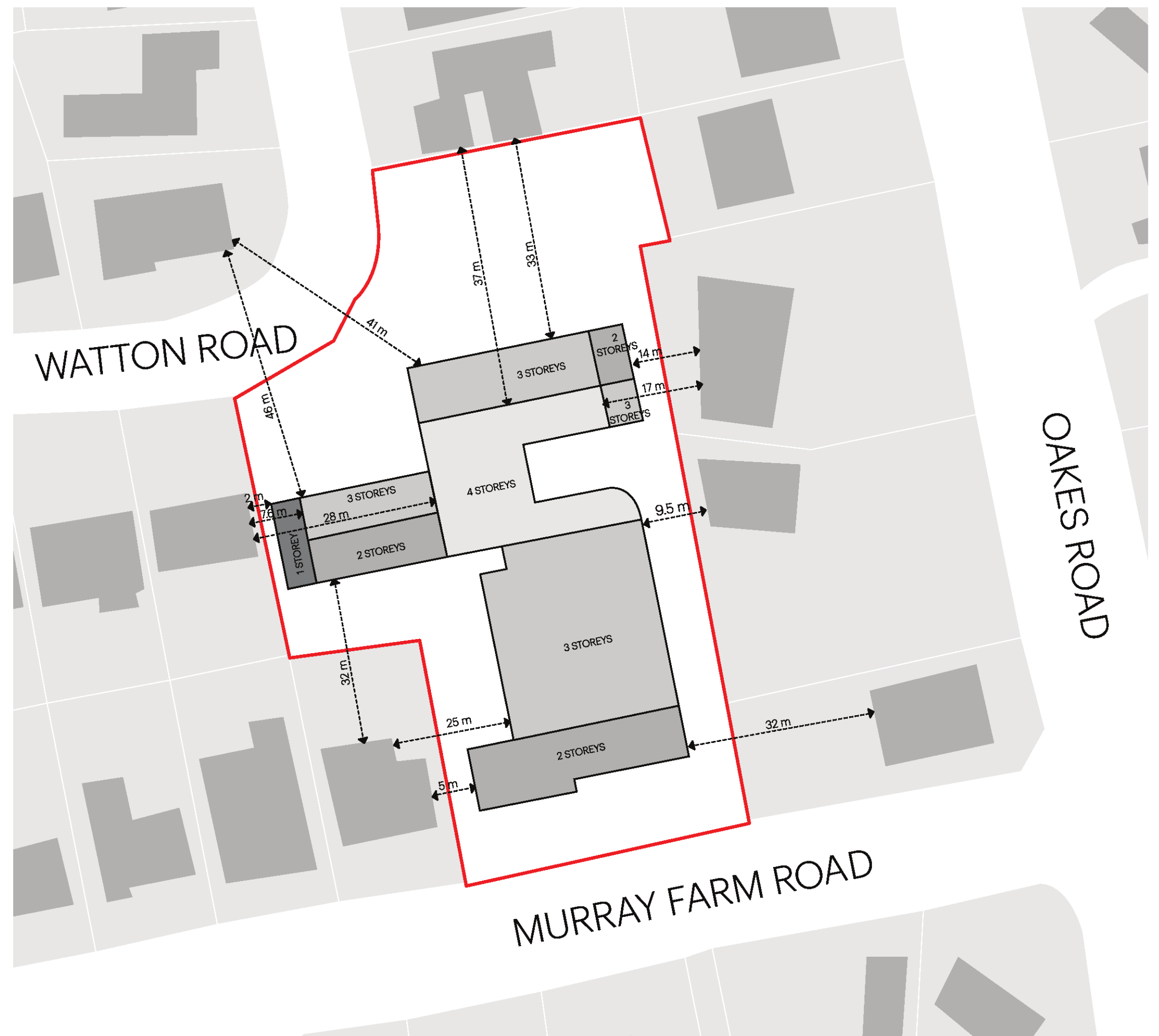
-  Main Entry
-  Residents' Access
-  Existing trees retained
-  Existing surrounding trees
-  Proposed planting buffer along boundary
-  Residents' courtyards Australian bushland garden
-  Residents' courtyards Palm and fern garden
-  Residents' courtyards Cultural planting



SETBACKS TO NEIGHBOURS

The site has a few constraining factors that define the built form and floor plates across the different levels. This gives the built form varying setbacks to all adjoining properties and potential to enhance landscape qualities in the spaces created.

The building form steps back from each of its adjoining neighbouring boundaries and street frontages with increased setbacks. The building generally presents as a two-storey form from Murray Farm Road and 3 storeys from Watton Road with further increased setbacks.

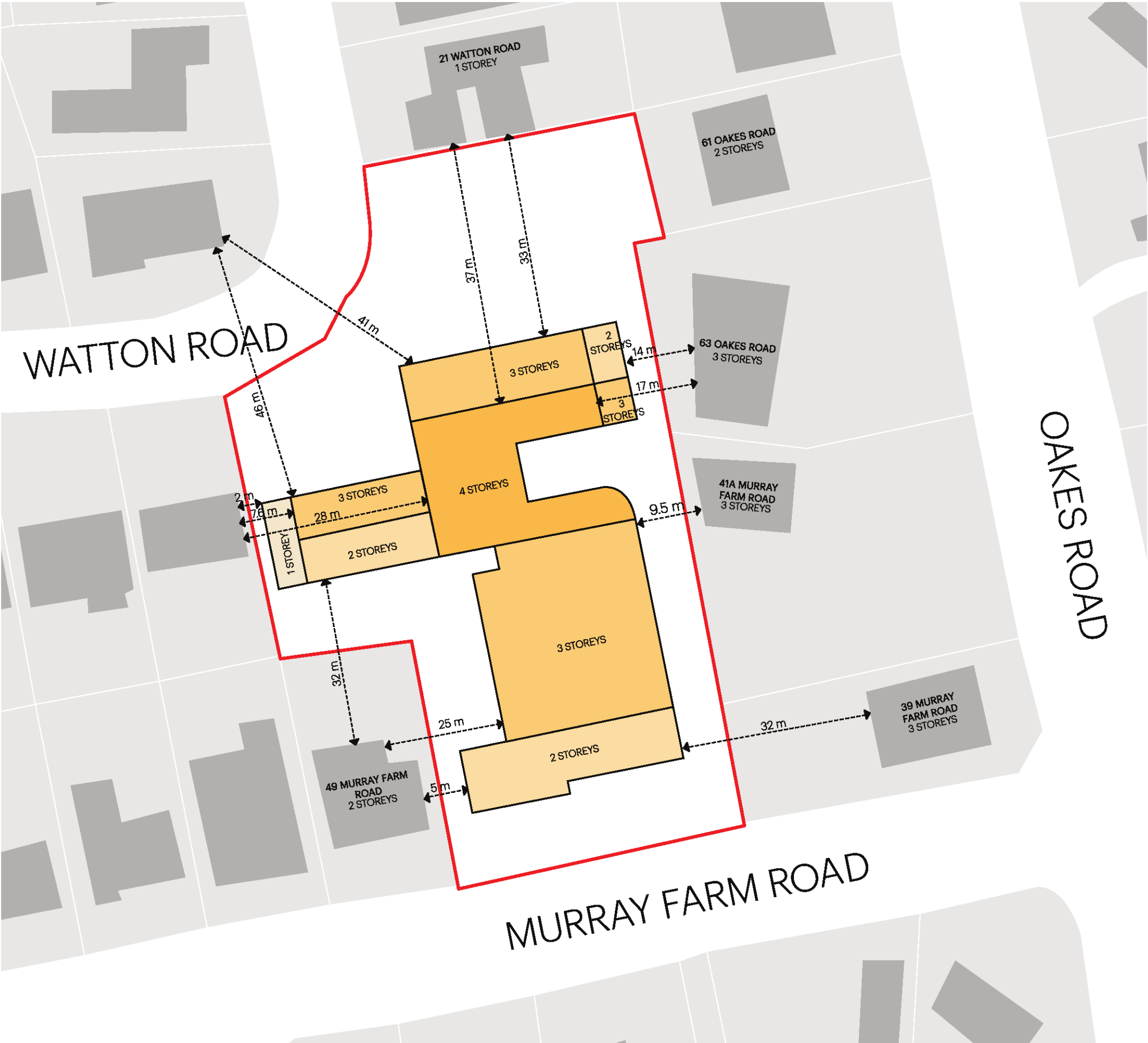


NUMBER OF FLOORS

The built form ranges between a single storey component and a 4-storey component. The building has a two-storey component along Murray Farm Road, and it steps up as it moves towards the centre of the site. This careful consideration helps transition the building effectively from the Murray Farm Road frontage.

The building also has similar transitions to neighbouring properties. Furthermore, these transitions are aided by the articulation of the facade elements. For example, the 3-storey component with the adjoining property at 41A Murray Farm Road is perceived to read as a 2- storey component. The pergola over the driveway with this neighbour is used as a transitional element. Additionally, this part of the building has outdoor terraces with balustrades with vertical profiles, thus cutting down the bulk from this portion of the building.

Careful consideration of facade elements along the Watton Street frontage, the generous setbacks, architectural components such as the hip roof, the eaves and the soffit and landscape elements help soften the 3-storey component along the Watton Road frontage. The 4-storey component of the building is hardly visible from any of the nearby streets and this floor is critical in achieving the optimum facility yield without creating peripheral impacts.



BUILDING ARTICULATION

All rooms in the building are oriented to look onto the landscaped courtyards and existing vegetation. The living spaces are evenly spread throughout the building. Overlooking into the neighbouring properties has largely been avoided by not having windows from rooms and living spaces facing the adjacent properties and through generous setbacks along the neighbouring boundaries.

- 1. Resident rooms facing Murray Farm Road have no privacy impacts.
- 2. No glazing along the western wall resulting in no privacy impact to 49 Murray Farm Road.
- 3. Resident rooms facing west are setback 12 metres off the boundary. The ground floor rooms sit lower than the adjoining property and are screened by the boundary fence. The upper floor resident rooms look out on to existing trees (20M in height) and on to proposed new landscaped buffer planting with a mature height of 8-10M. The privacy impact from these rooms is expected to be minimal.
- 4. The western wing has been reduced to a town storey building and sits lower than the adjoining property (49 Murray Farm Road) which is evident from boundary condition sections. These resident rooms are setback approx. 10.8M from the boundary and look onto new landscape buffer planting with a mature height of 10M along the rear boundary. The privacy impact from these rooms is expected to be minimal.
- 5. No resident rooms face the adjoining property of 11 Watton Road. Only a corridor window faces this boundary as visibility is expected to be screened from the new landscape buffer planting along the boundary. 11 Watton Road has only 2 small high-level windows along this boundary which appear to be bathroom windows. The privacy impact along this boundary is minimal.
- 6. Resident rooms facing Watton Road have no privacy impacts.
- 7. Resident rooms facing west are set back 28M from the boundary and have no privacy impacts.
- 8. Lounge areas and resident rooms facing north look on to existing trees which are in the order of 8-20M in height. Visibility is limited through this area currently, so along with additional new planting and a setback of over 33M it is expected there will be no privacy impact from this area.
- 9. No resident rooms face the adjoining property of 63 Oakes Road. Only a corridor window faces this property. However, their private open space faces north and east and is not impacted by our development. The existing trees along this boundary are 16-26M in height with very limited visibility. The existing vegetation coverage along with new buffer planting will ensure there is little impact on their privacy.
- 10. The lounge areas from within the courtyard are setback 26M from the boundary. The existing tree coverage and new landscape buffer planting along the boundary will ensure no impact on privacy from this area.
- 11. The resident rooms and balcony's facing east are setback 9-14M from the boundary. The existing tree coverage particularly adjoining 41A Murray Farm Road is 16-26M in height with limited visibility. The new landscape buffer planting will have a mature height between 8-20M which includes new Sydney Red Gum Trees. The privacy of 41A Murray Farm Road which has its private open space to the east is expected to be maintained.
- 12. The Resident rooms facing east are setback 9M off the boundary and the resident rooms on the corner face Murray Farm Road and not the adjoining property. The driveway of 41A Murray Farm Road separates our site from 39 Murray Farm Road. The existing tree coverage along the boundary protects the privacy of 39 Murray Farm Road.



EXISTING VIEW CORRIDORS

The diagram on the right is a presumed representation of the existing view corridors of the immediate neighbours.

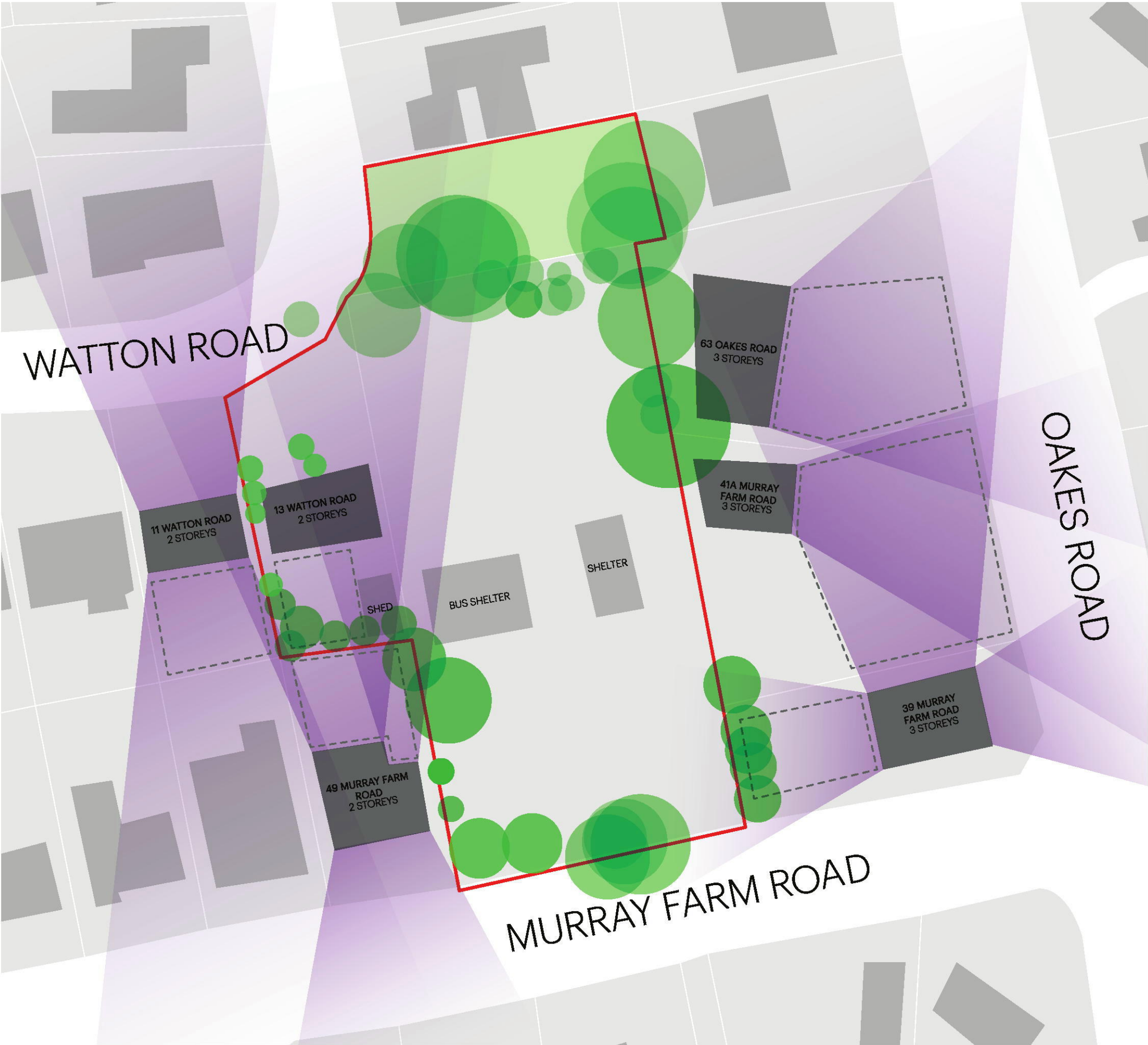
11 Watton Road has no overlooking into the existing site.

63 Oakes Road has no overlooking into the existing site. It is presumed that the private open space of this property would have an easterly aspect looking towards Oakes Road due to the large open space on the lot. Additionally, the high density of trees and shrubbery limits any potential overlooking.

41A Murray Farm Road has no overlooking into the existing site. It is presumed that the private open space of this property would have an easterly aspect looking towards Oakes Road due to large open space on the lot.

39 Murray Farm Road has no overlooking into the existing site. The property looks into the driveway of 41A Murray Farm Road before looking into the existing site. Additionally, the high density of trees and shrubbery limits any potential overlooking.

49 Murray Farm Road overlooks into the private open space of 13 Watton Road. 13 Watton Road is a single storey dwelling which sits on high ground. The rear boundary of 13 Watton Road is heavily vegetated with non-native Cypress trees in the order of 8M in height. These trees restrict any view from 49 Murray Farm Road beyond its rear boundary.



PROPOSED VIEW CORRIDORS

Careful thought and consideration while designing the building has been taken into account in order to preserve the existing view corridors. The intent has been to try to avoid the view corridors from being affected by the proposed facility.

11 Watton Road has no overlooking into the proposed site.

63 Oakes Road has no overlooking into the proposed site. It is presumed that the private open space of this property would have an easterly aspect looking towards Oakes Road due to the large open space on the lot. Additionally, the high density of existing and proposed trees and shrubbery will limit any potential overlooking.

41A Murray Farm Road has no overlooking into the existing site. It is presumed that the private open space of this property would have an easterly aspect looking towards Oakes Road due to large open space on the lot. Additionally, the high density of proposed trees and shrubbery will limit any potential overlooking.

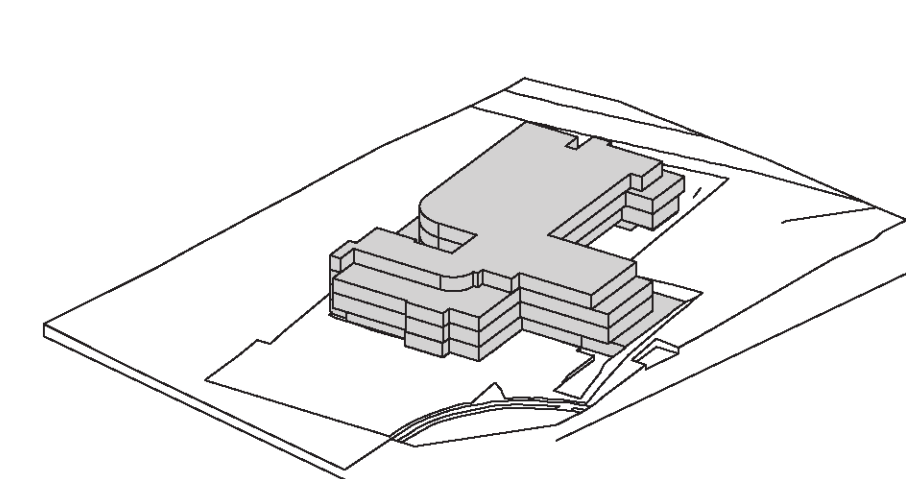
39 Murray Farm Road has no overlooking into the existing site. The property looks into the driveway of 41A Murray Farm Road before looking into the existing site. Additionally, the high density of existing and proposed trees and shrubbery will limit any potential overlooking.

49 Murray Farm Road overlooks into the site. The portion of the proposed building presents itself as a 2-storey component to limit hindrance to 49 Murray Farm Road’s view corridors. Due to the cut and fill around that portion of the site, the overall building RL shouldn’t be any higher than that of a new dwelling, should one be built on the site in place of the proposed facility. Additionally, the roof features, facade articulation, proposed landscaped elements and the generous setbacks are all used in conjunction to limit any potential obstruction to 49 Murray Farm Road’s view corridors. The proposed landscape buffer planting along the boundary will have a mature height of 8M, similar to the existing trees which are being replaced and will also benefit the outlook from surrounding properties.

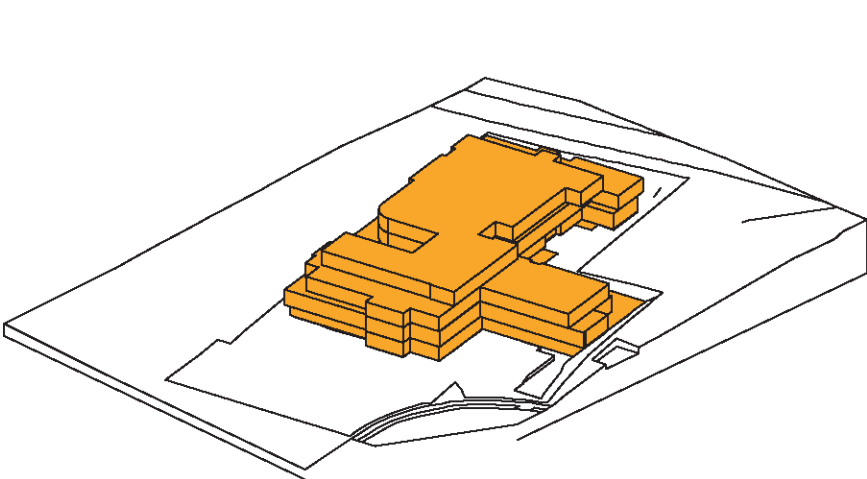


MASSING DIAGRAMS

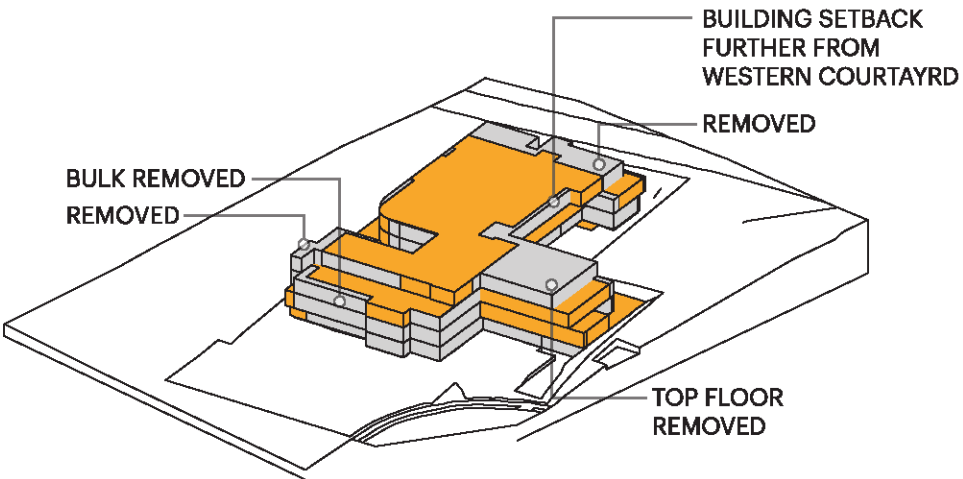
ORIGINAL DA SCHEME VS. PROPOSED SCHEME



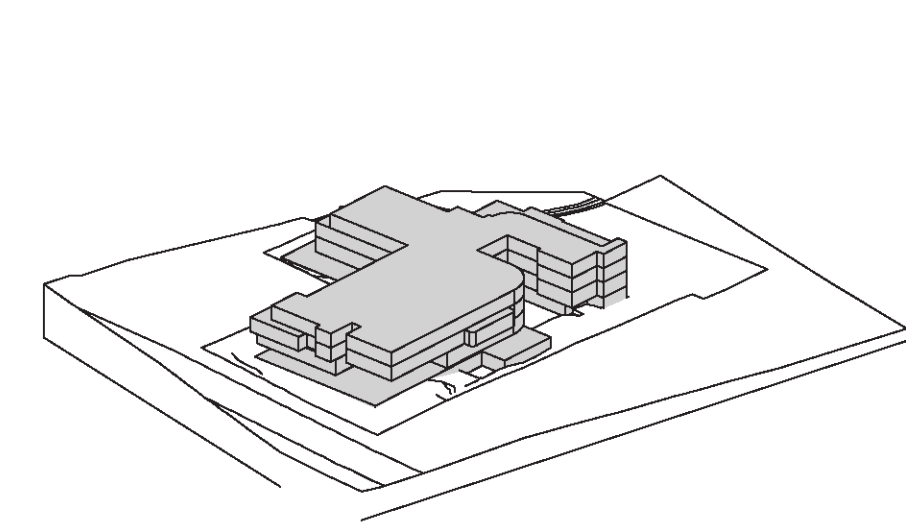
DA SCHEME - AXO FROM WATTON ROAD



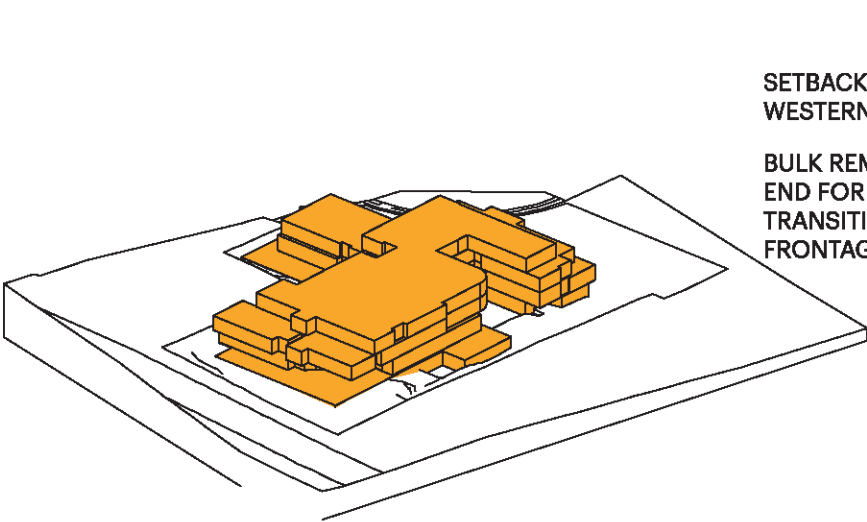
PROPOSED SCHEME - AXO FROM WATTON ROAD



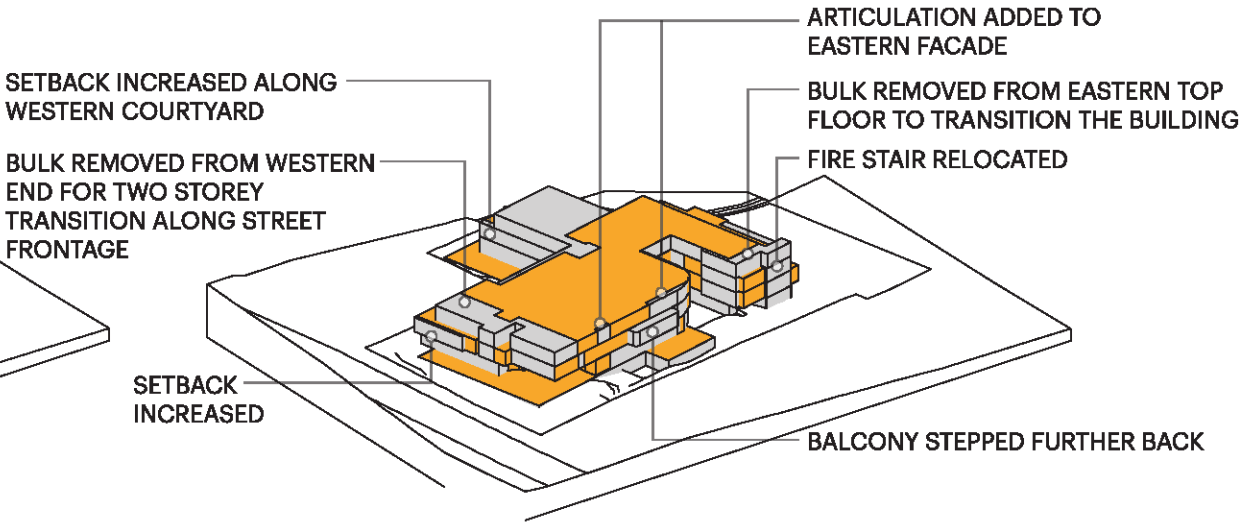
PROPOSED SCHEME OVERLAYED WITH DA SCHEME



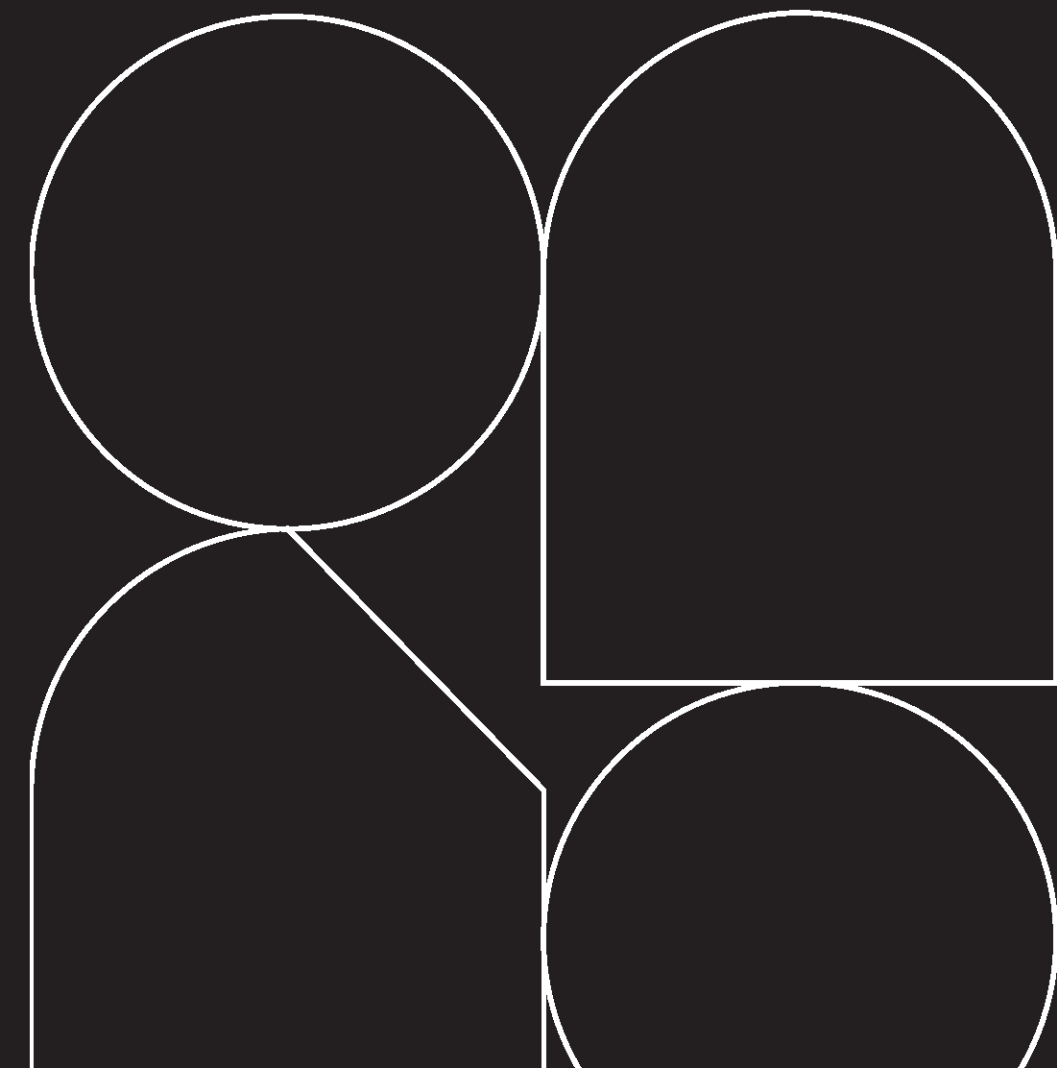
DA SCHEME - AXO FROM MURRAY FARM RAOD



PROPOSED SCHEME - AXO FROM MURRAY FARM RAOD



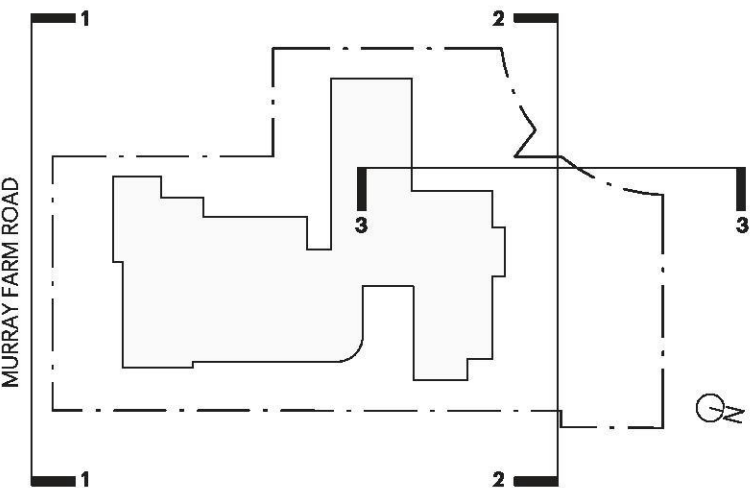
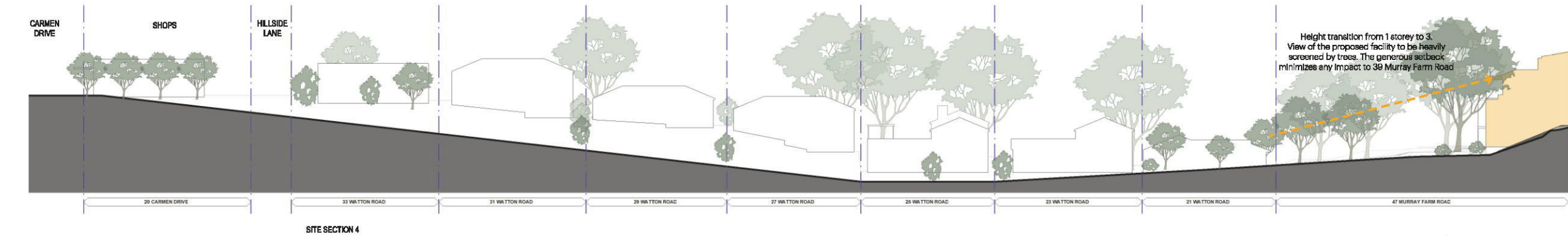
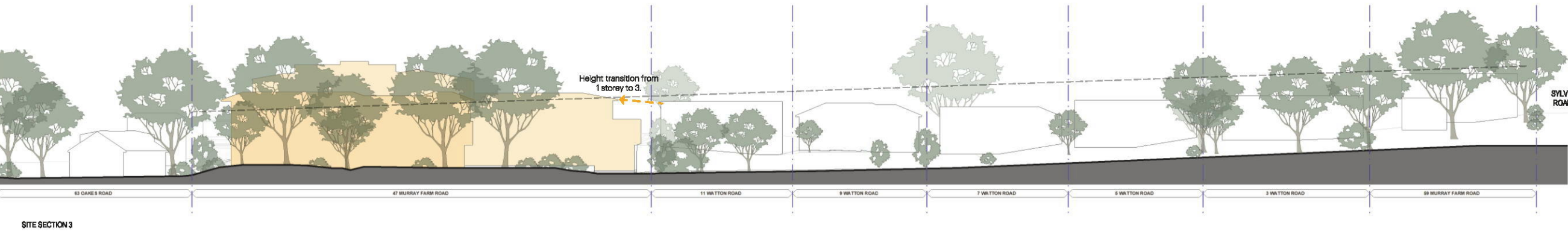
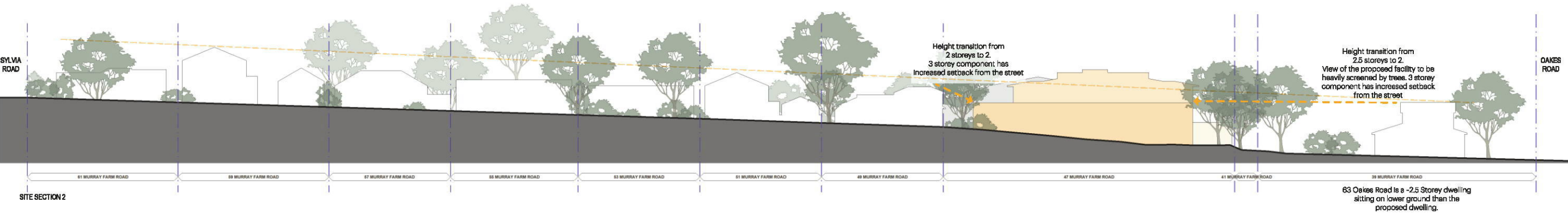
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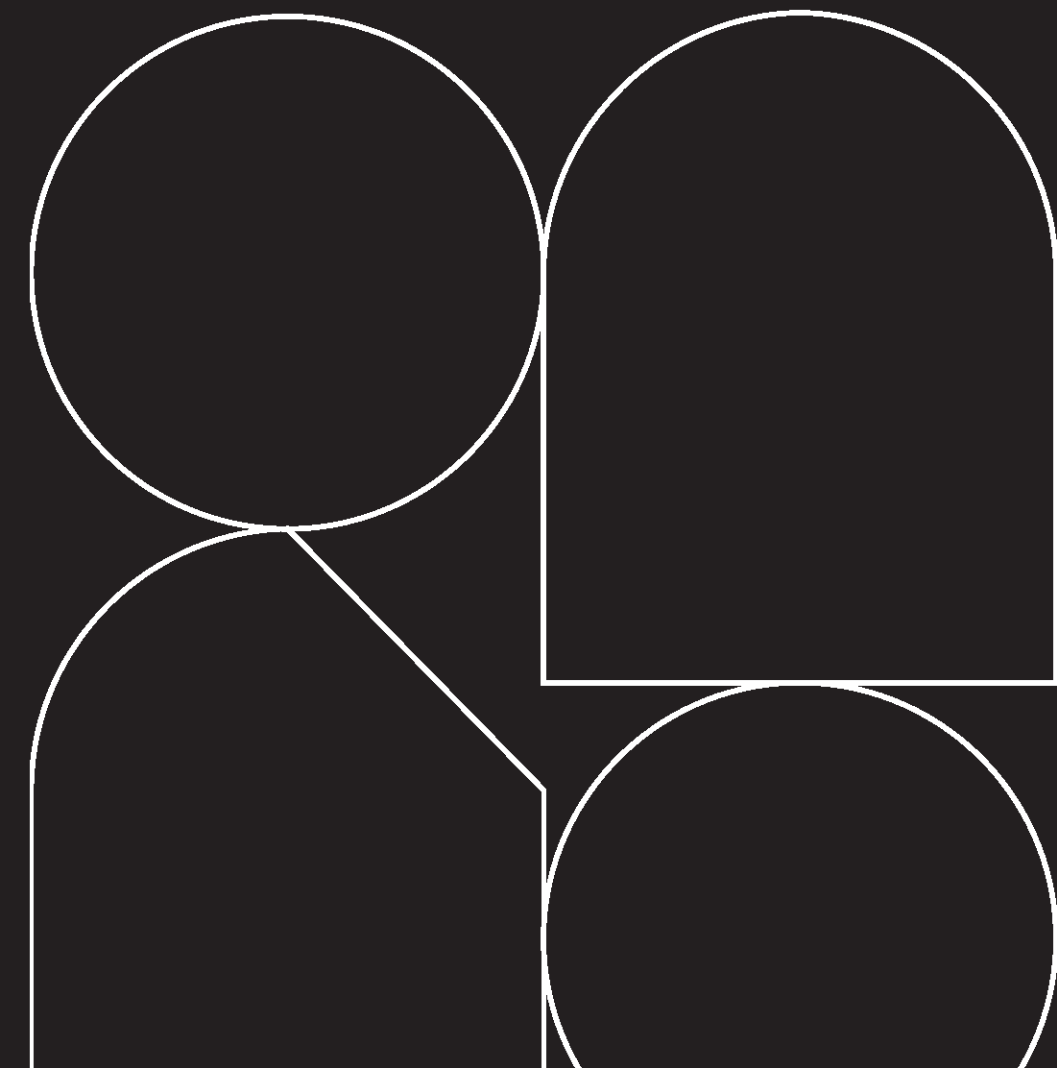


Proposed Design Vision

Boundary Conditions

SITE SECTIONS





Detailed Shadow Study

DETAILED SHADOW STUDY

WESTERN COURTYARD (COURTYARD 4)
21st JUNE - WINTER SOLISTICE

These shadow diagrams indicate that from 8:30 AM to 3:30PM this courtyard does not project a shadow projection onto the adjoining private open space. This is the dwelling at 49 Murray Farm Road.

The Southern part of our proposed courtyard receives excellent solar amenity from 12 noon. This is one of our 'special needs unit' neighbourhoods which will benefit from the amenity provided by a sunny private open space.

All residents will have access to the Northern courtyards (Courtyard 1) which receive sunlight in winter throughout the day.



08:30 AM



09:00 AM



09:30 AM



10:00 AM



10:30 AM



11:00 AM



11:30 AM



12:00 PM



12:30 PM



01:00 PM



01:30 PM



02:00 PM



02:30 PM



03:00 PM



03:30 PM

DETAILED SHADOW STUDY

WESTERN COURTYARD (COURTYARD 4)
21st DECEMBER - SUMMER SOLISTICE

These shadow diagrams indicate that this courtyard has excellent amenity to the Western part of the courtyard throughout the day. The proposal does not project a shadow onto the adjoining private open space. This is the dwelling at 49 Murray Farm Road.

The Southern part of our proposed courtyard receives excellent solar amenity from 11:30 AM to beyond 3:30PM. This outdoor space is one of our 'special needs unit' neighbourhoods which will benefit from the amenity provided by a sunny private open space and also from morning shade in Summer.



08:30 AM



09:00 AM



09:30 AM



10:00 AM



10:30 AM



11:00 AM



11:30 AM



12:00 PM



12:30 PM



01:00 PM



01:30 PM



02:00 PM



02:30 PM



03:00 PM



03:30 PM

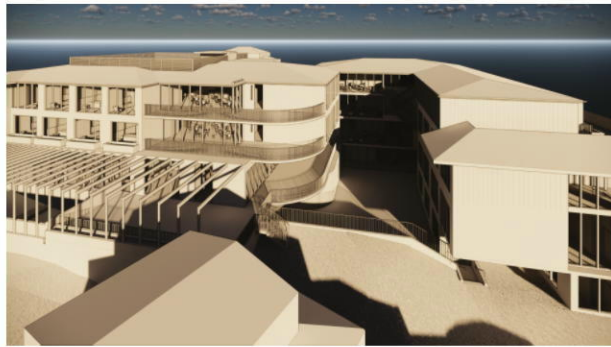
DETAILED SHADOW STUDY

COURTYARD 2
21st JUNE - WINTER SOLISTICE

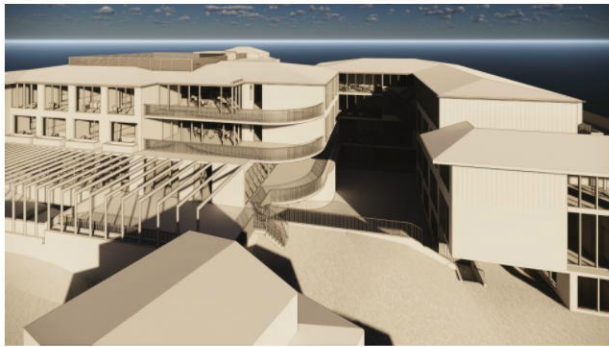
This courtyard is East Facing with the tallest part of the build to the North. These shadow diagrams indicate that from 8:30 AM to 3:30PM this courtyard is largely in shade whilst the Northern part of the building affords excellent solar amenity. The ground plane of the courtyard remains shaded.

The ground floor terraces receive direct sunlight from 8:30 AM to 1:30 PM to at least 50% of the space. Residents will also have access to the Northern courtyard which receives sunlight throughout the day in winter.

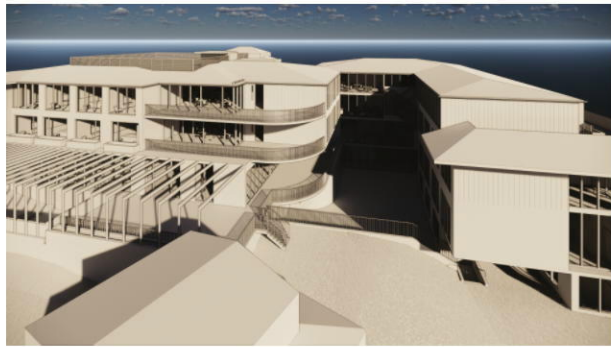
These shadow diagrams indicate that solar amenity of the adjoining dwelling is not compromised as the private open spaces of these dwellings face East. The shadow affects the Western roofs of the dwelling at 63 Oakes Road in the late afternoon.



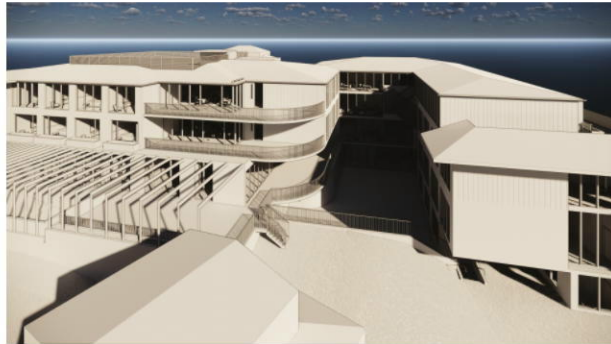
08:30 AM



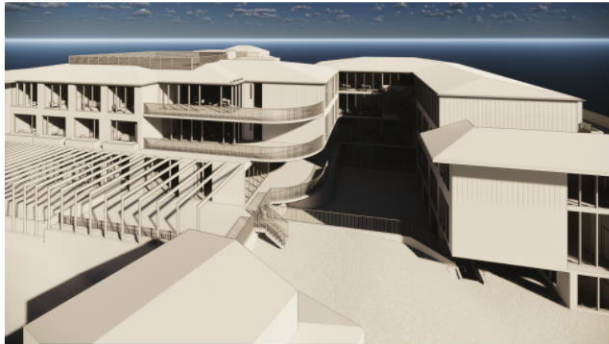
09:00 AM



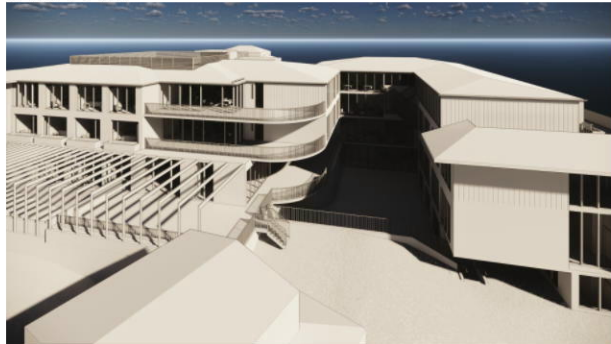
09:30 AM



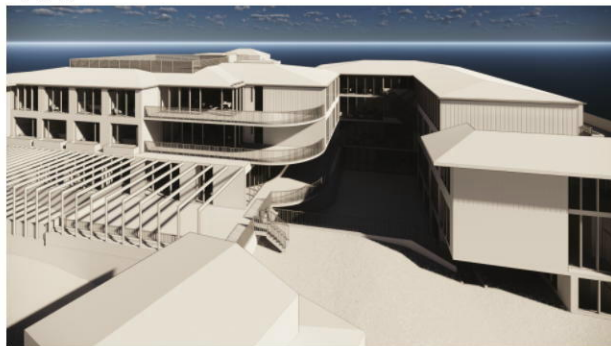
10:00 AM



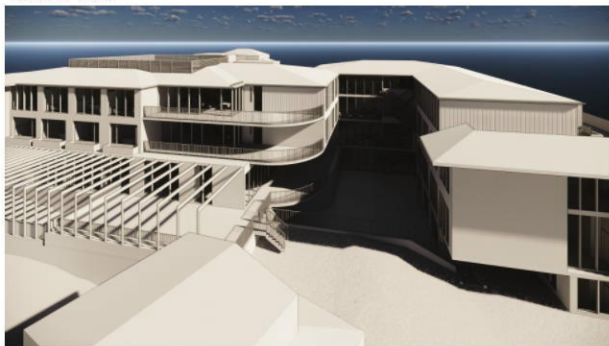
10:30 AM



11:00 AM



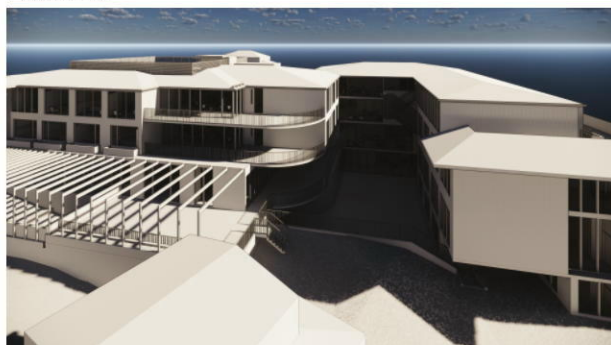
11:30 AM



12:00 PM



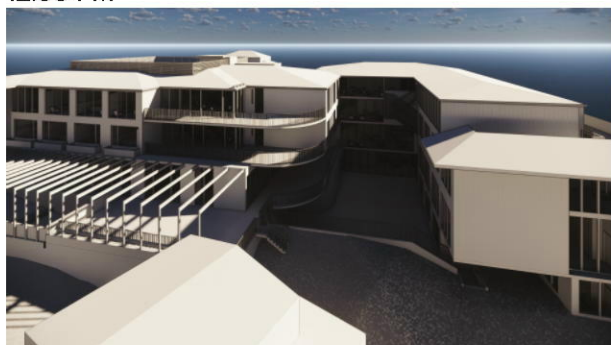
12:30 PM



01:00 PM



01:30 PM



02:00 PM



02:30 PM



03:00 PM



03:30 PM

DETAILED SHADOW STUDY

COURTYARD 2
21st DECEMBER - SUMMER SOLISTICE

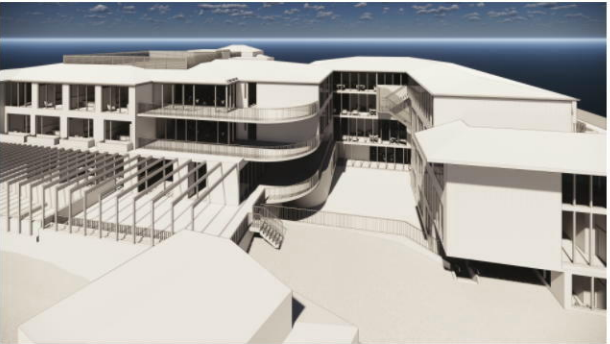
This courtyard is East Facing with the tallest part of the building to the North. These shadow diagrams indicate that from 8:30 AM to 12 Noon this courtyard is mostly in full sun on the ground plan, whilst the Northern part of the building affords excellent solar amenity. From 12:30 PM the ground plane of the courtyard maintains partial shade with the ground plan having large patches of sunlight decreasing to 3:30 PM.

The ground floor terrace receives sunlight from 8:30 AM through to 2:00 PM

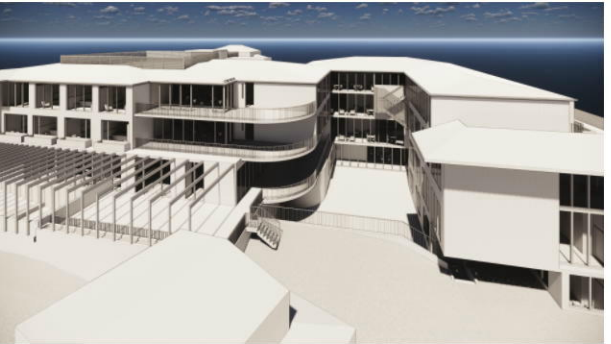
These shadow diagrams indicate that solar amenity of the adjoining dwelling is not compromised. This is the dwelling at 63 Oakes Road.



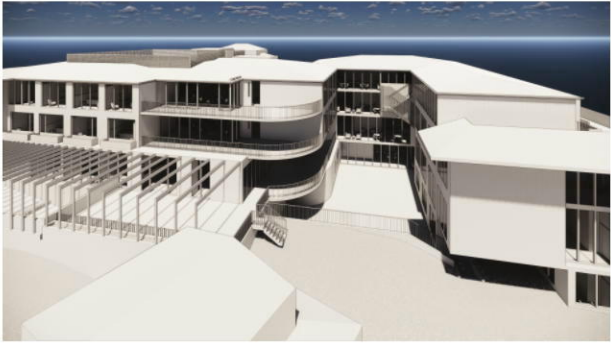
08:30 AM



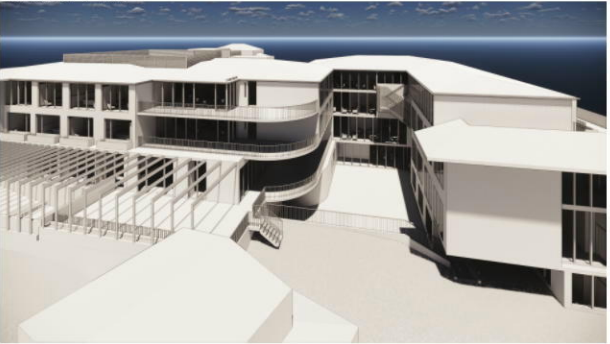
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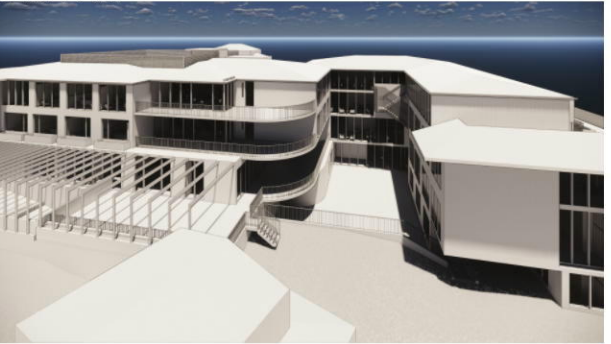
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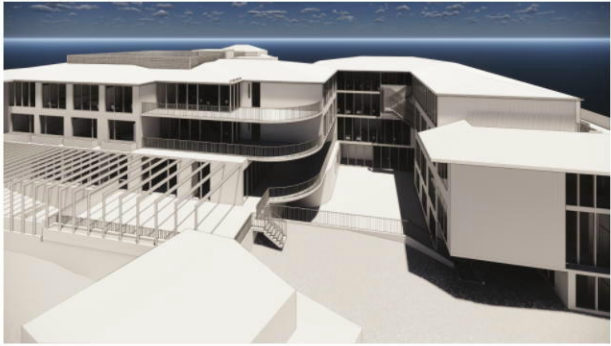
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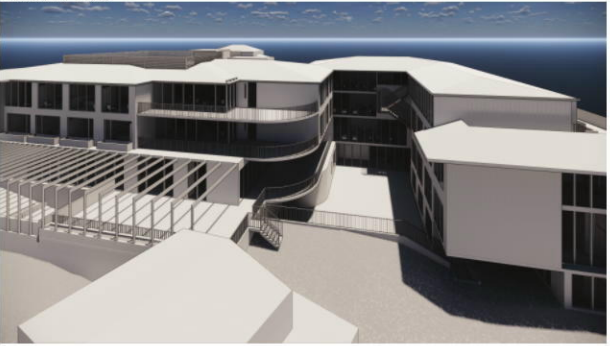
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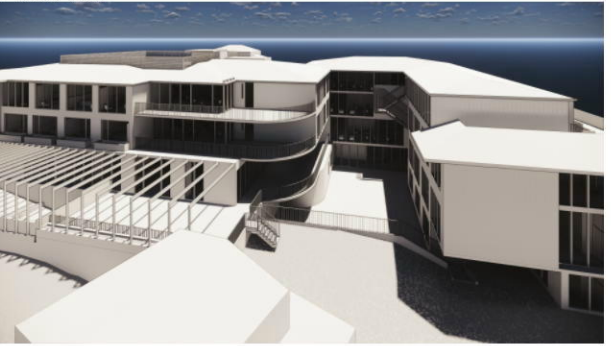
11:00 AM



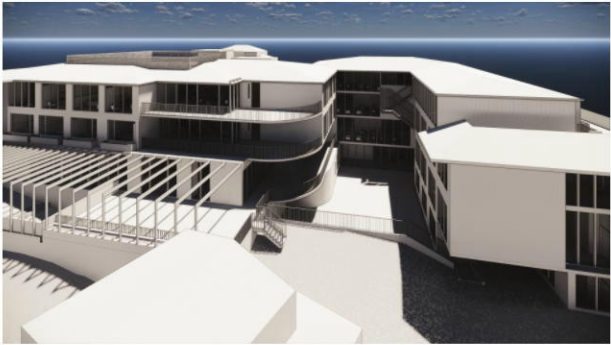
11:30 AM



12:00 PM



12:30 PM



01:00 PM



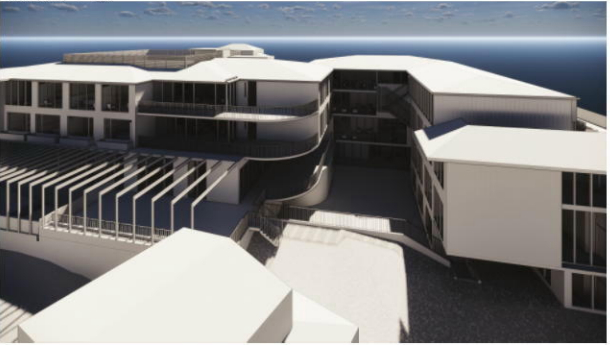
01:30 PM



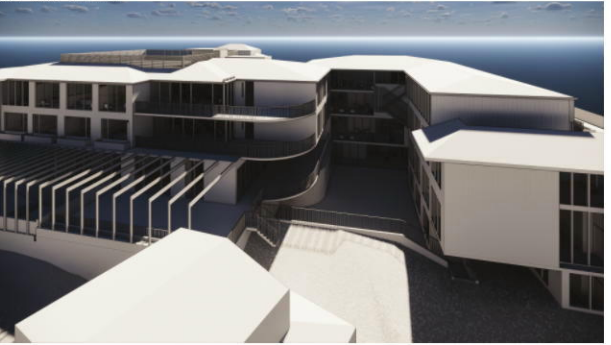
02:00 PM



02:30 PM



03:00 PM



03:30 PM

DETAILED SHADOW STUDY

NORTH - WESTERN COURTYARD
(COURTYARDS 1 AND 5)
21st JUNE - WINTER SOLISTICE

These shadow diagrams indicate that from 8:30 AM to 3:30 PM this courtyard does not project a shadow onto the adjoining private open space of the dwelling at 11 Watton Road.

The proposed courtyard receives excellent solar amenity through most of the day. This is the dementia neighbourhood which will benefit from the amenity provided by a sunny private open space.



08:30 AM



09:00 AM



09:30 AM



10:00 AM



10:30 AM



11:00 AM



11:30 AM



12:00 PM



12:30 PM



01:00 PM



01:30 PM



02:00 PM



02:30 PM



03:00 PM



03:30 PM

DETAILED SHADOW STUDY

NORTH - WESTERN COURTYARD
(COURTYARDS 1 AND 5)
21st DECEMBER - SUMMER SOLISTICE

These shadow diagrams indicate that from 8:30 AM to 3:30 PM this courtyard does not project a shadow onto the adjoining private open space of the dwelling at 11 Watton Road.

The proposed courtyard receives excellent solar amenity through most of the day. This is the dementia neighbourhood, which will benefit from the amenity provided by a sunny private open space.



08:30 AM



09:00 AM



09:30 AM



10:00 AM



10:30 AM



11:00 AM



11:30 AM



12:00 PM



12:30 PM



01:00 PM



01:30 PM



02:00 PM



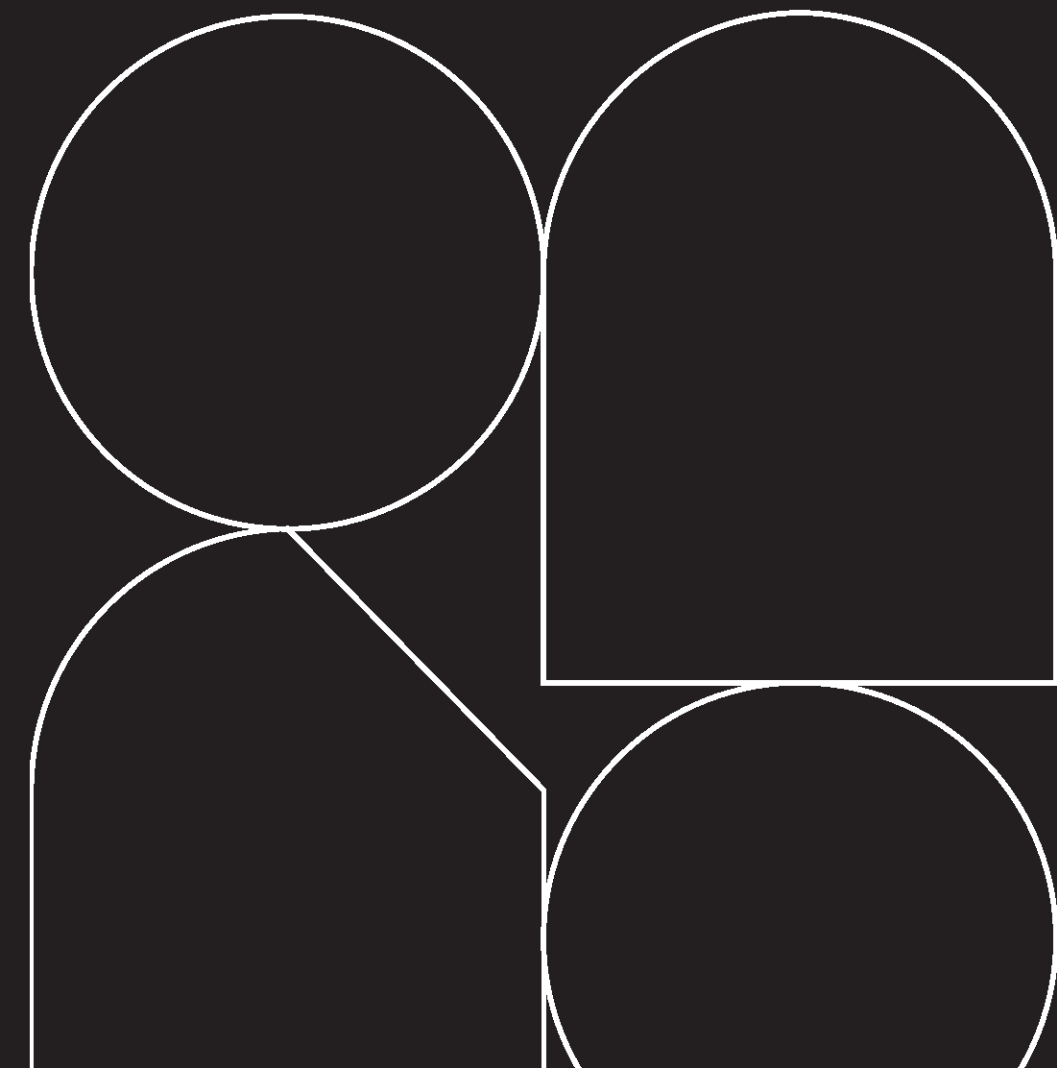
02:30 PM



03:00 PM



03:30 PM



Visualizations



ARTIST'S IMPRESSION ONLY



ARTIST'S IMPRESSION ONLY



ARTIST'S IMPRESSION ONLY



ARTIST'S IMPRESSION ONLY



ARTIST'S IMPRESSION ONLY



ARTIST'S IMPRESSION ONLY



CARLINGTON
AGED CARE





ARCHITECTURAL DRAWING SET FOR

JAPARA HEALTHCARE - CARLINGFORD AGED CARE FACILITY

47 MURRAY FARM ROAD, CARLINGFORD
NSW 2118

ISSUED FOR:
DEVELOPMENT APPLICATION

DRAWING LIST

- 0-00 COVER SHEET
- 1-00 SITE PLAN
- 1-01 DEMOLITION PLAN
- 2-00 BASEMENT PLAN
- 2-01 GROUND FLOOR PLAN
- 2-02 LEVEL 1 PLAN
- 2-03 LEVEL 2 PLAN
- 2-04 ROOF PLAN
- 3-00 BUILDING ELEVATIONS
- 3-01 BUILDING ELEVATIONS
- 3-05 STREETSCAPE ELEVATION
- 3-50 BUILDING SECTIONS
- 4-00 SHADOW DIAGRAMS - AUTUMN EQUINOX
- 4-01 SHADOW DIAGRAMS - WINTER SOLSTICE
- 4-02 SHADOW DIAGRAMS - SPRING EQUINOX
- 4-03 SHADOW DIAGRAMS - SUMMER SOLSTICE
- 4-50 GFA DIAGRAMS
- 4-55 LANDSCAPE AREA CALCULATION
- 5-01 DETAILED FACADE SECTIONS
- 9-90 NOTIFICATION PLAN

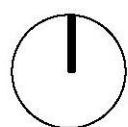
THIS DRAWING SET IS TO BE READ IN CONJUNCTION WITH
THE ARCHITECTURAL AND URBAN DESIGN ANALYSIS
SUBMITTED WITH THIS APPLICATION



SITE LOCATION PLAN



VIEW ALONG MURRAY FARM ROAD



JAPARA
HEALTHCARE

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CARE FACILITY**
47 MURRAY FARM ROAD,
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JAPARA HEALTHCARE

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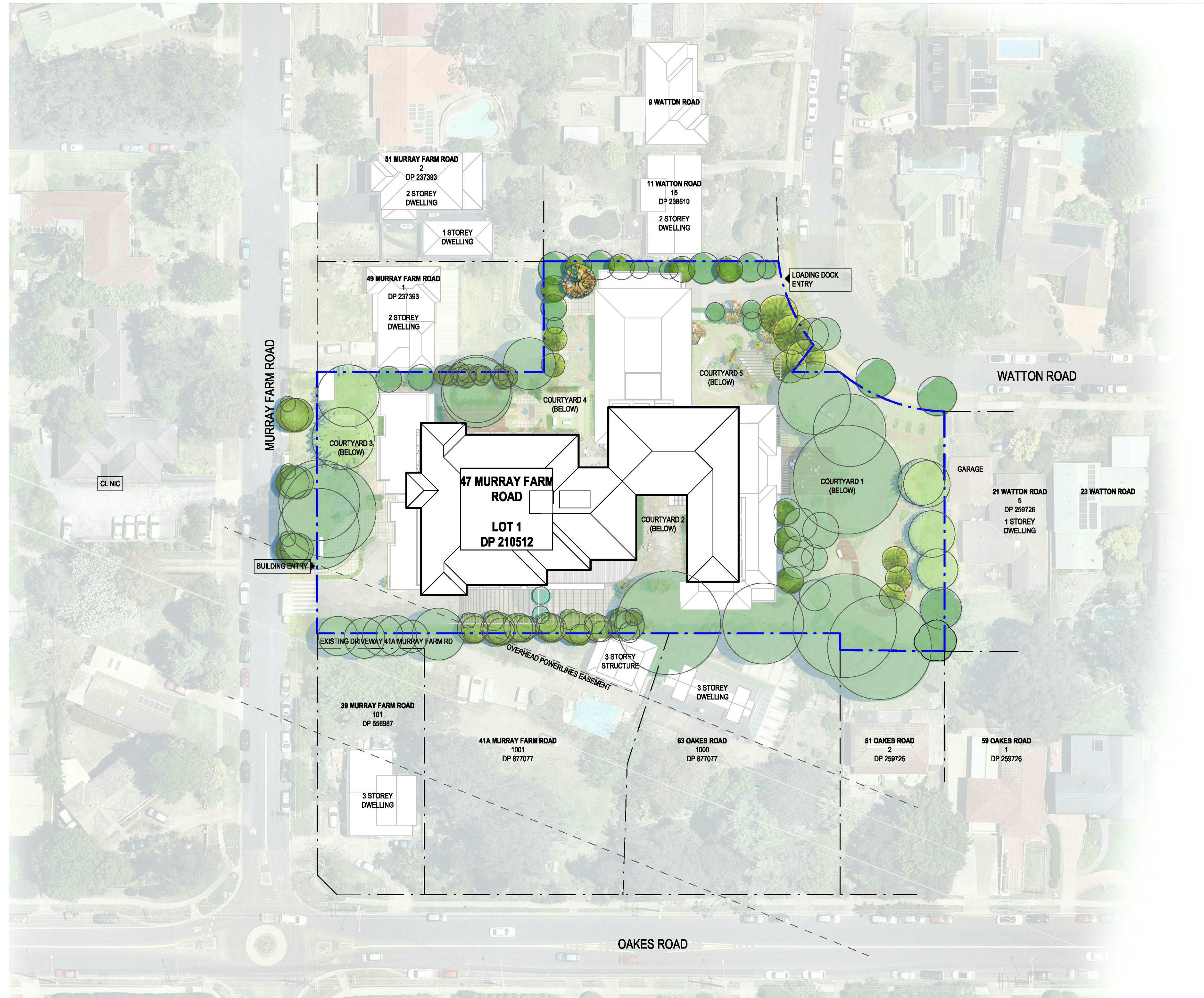
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COVER SHEET

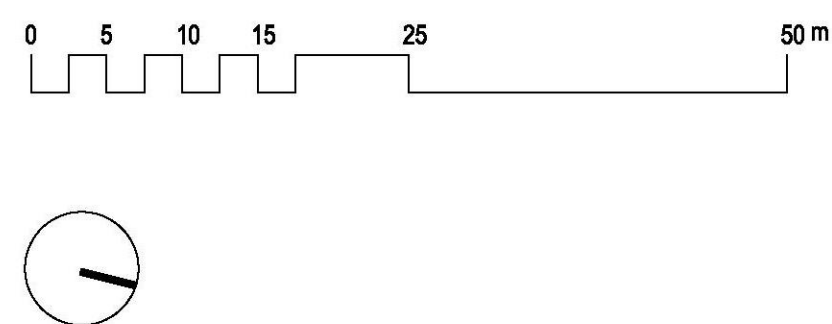
DA0-00

23.09.2019

rev. B



NOTE
 - REFER TO SURVEY DRAWING PREPARED BY "LTS LOCKLEY"
 FOR ALL SURVEY INFORMATION.
 - EXTERNAL RLS SHOWN ARE INDICATIVE ONLY. REFER CIVIL
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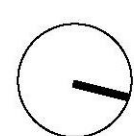
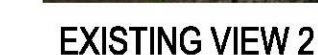
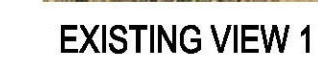
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SITE PLAN
 1 : 500 @ A1
 DA1-00

23.09.2019
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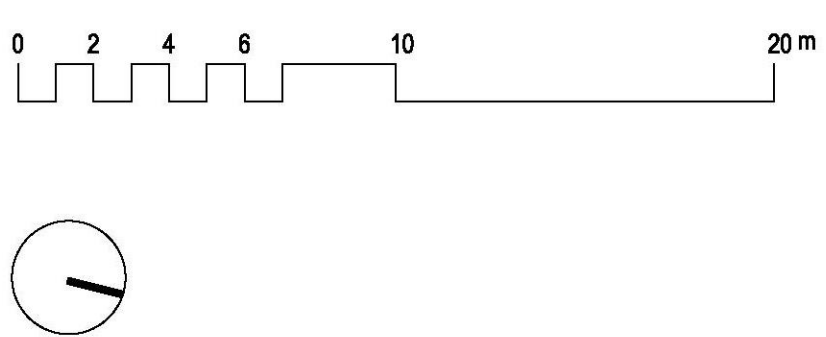
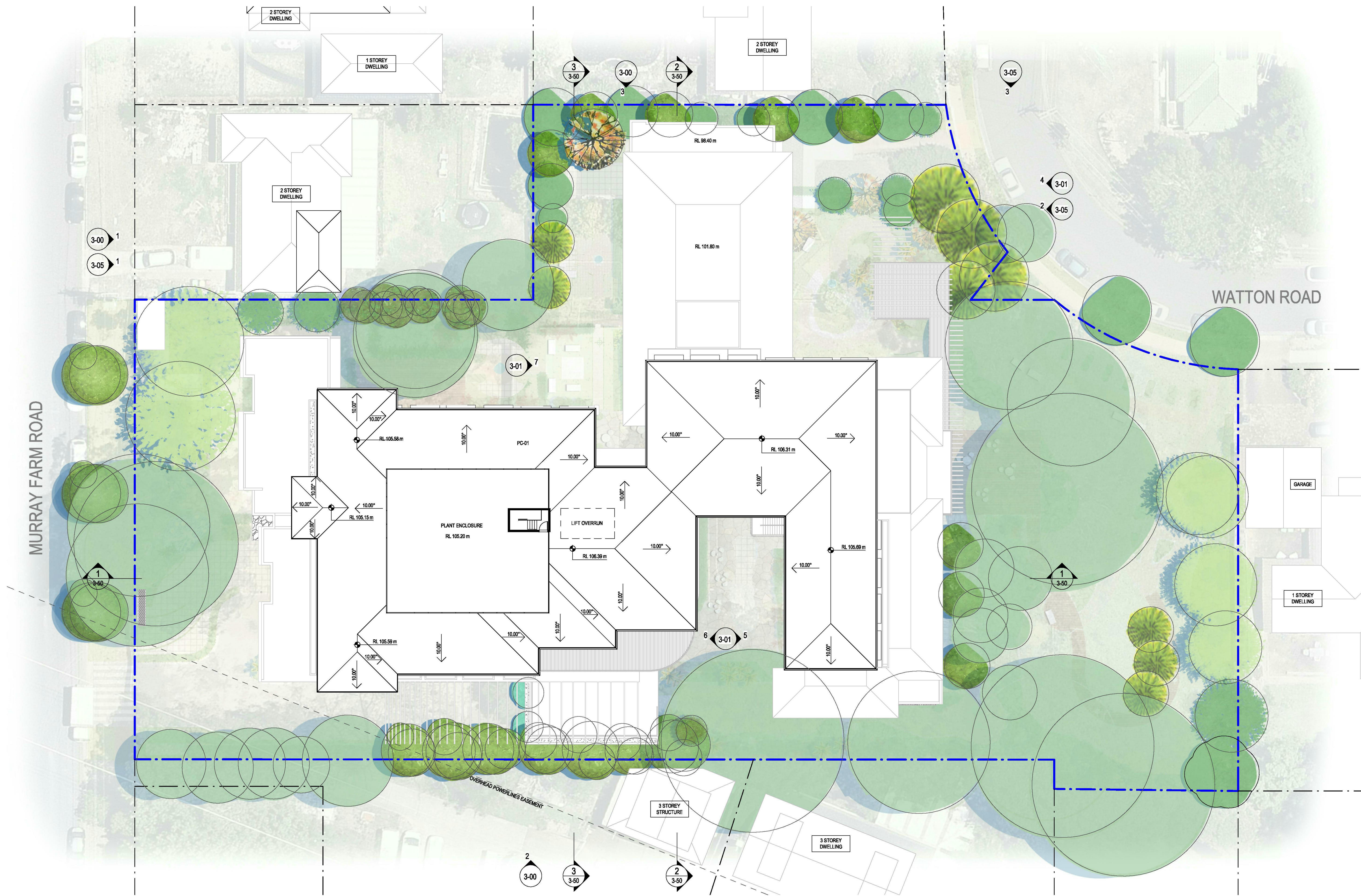
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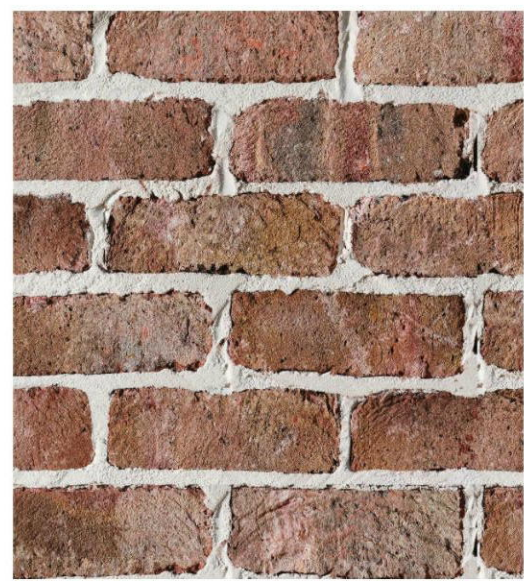
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ROOF PLAN
1:200 @ A1
DA2-04

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FB
FACE BRICK SIMILAR TO AUSTRAL SAN SELMO RECLAIMED



MC
DARK GREY COLORBOND CLADDING
FIELDERS BOULEVARD PROFILE OR EQUIVALENT



PC-01
DARK GREY POWDER COAT OR SIMILAR, DULUX OR EQUIVALENT. ALL GLAZING SUITE MULLIONS / FRAMES TO MATCH PC-01



BAL
BRASS LOOK ANODIZED BALLUSTRADE
MONACO STONE OR EQUIVALENT



TB
TIMBER BATTENS
TS
TIMBER SOFFIT



PC-02
YELLOW WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



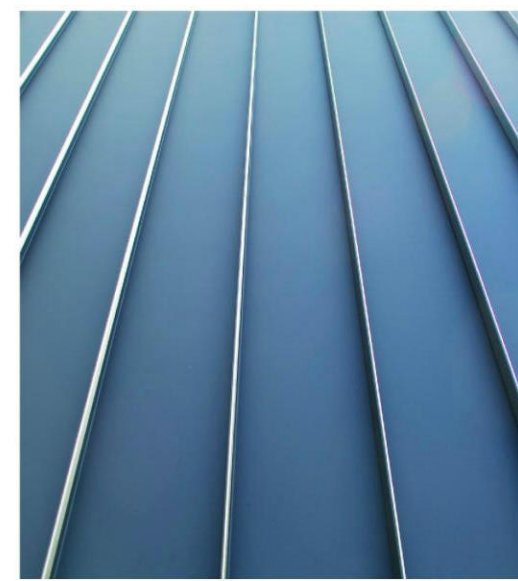
PC-03
WHITE WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



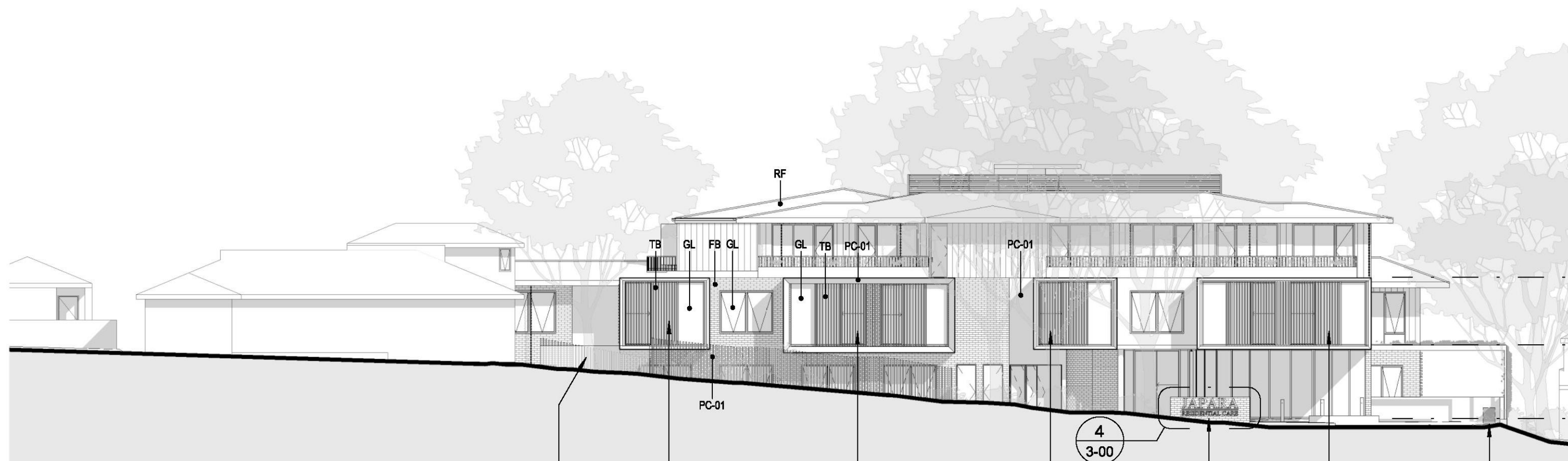
CONC.
EXPOSED CONCRETE COLUMNS



GL
FIXED AND OPERABLE GLAZING PANELS

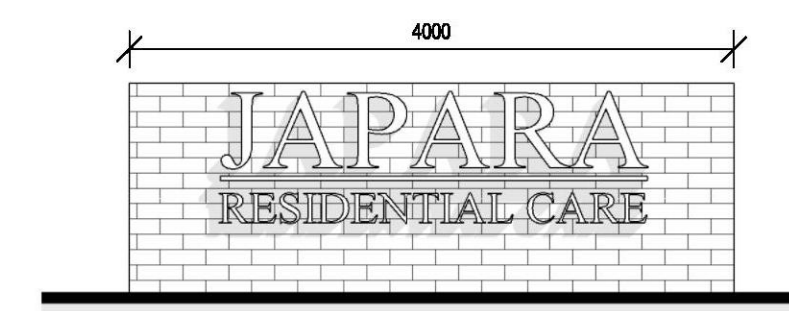


RF
DARK GREY COLORBOND ROOFING
FIELDERS PROMINENCE PROFILE OR EQUIVALENT



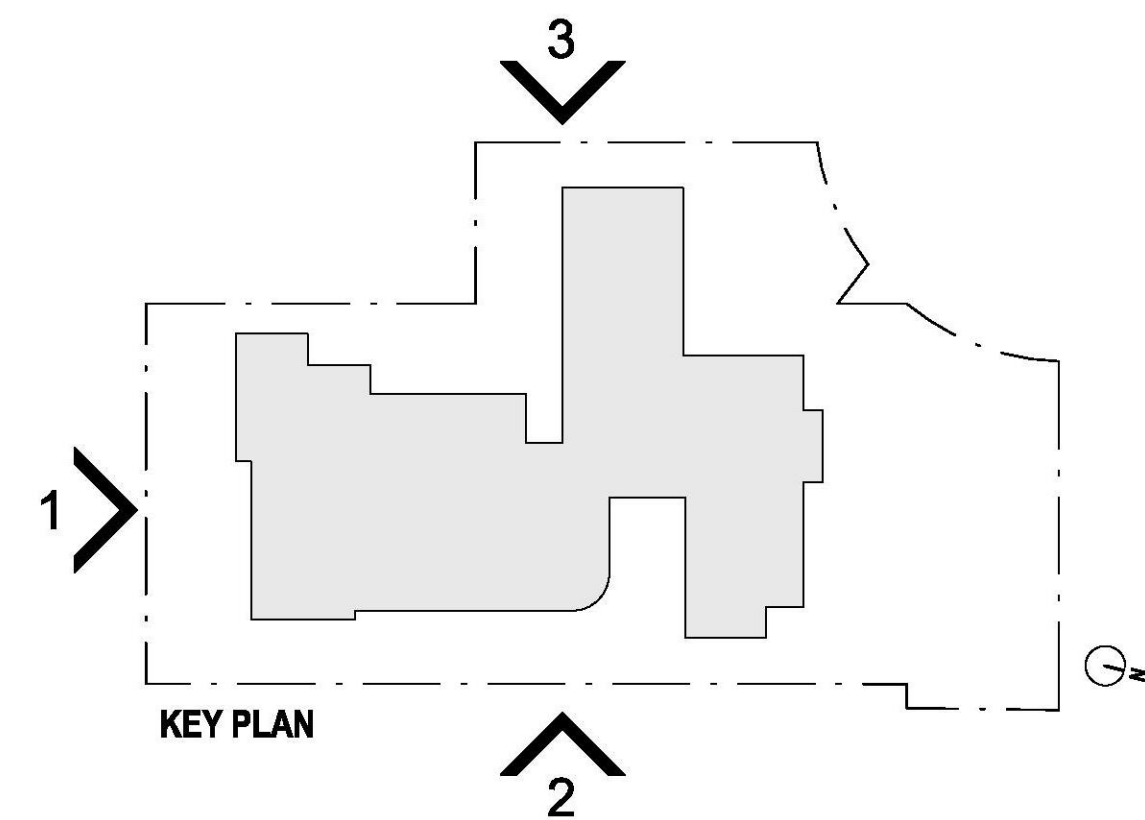
1 SOUTHERN ELEVATION (MURRAY FARM ROAD)

LVL 2
RL 101.800 m
LVL 1
RL 98.400 m
GND FLOOR
RL 94.700 m

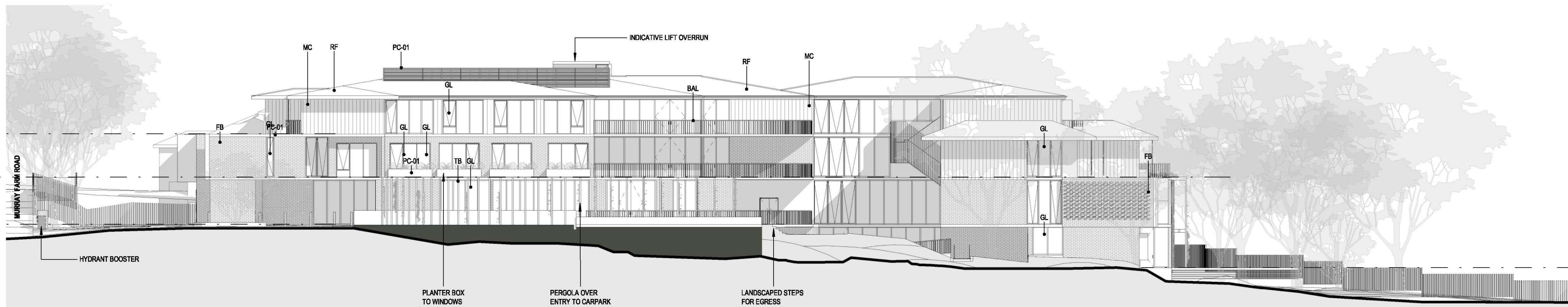


4 SIGNAGE ELEVATION

1:50



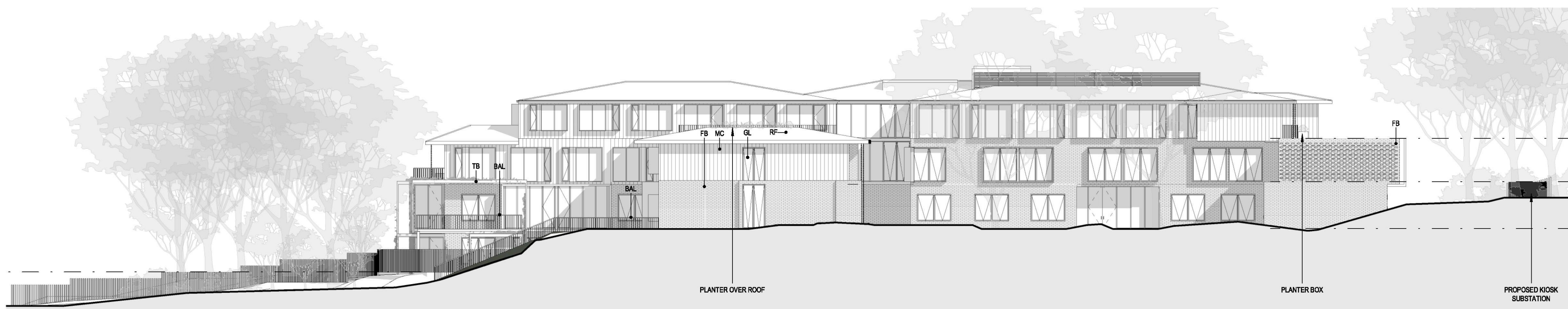
KEY PLAN



2 EASTERN ELEVATION

LVL 2
RL 101.800 m
LVL 1
RL 98.400 m
GND FLOOR
RL 94.700 m

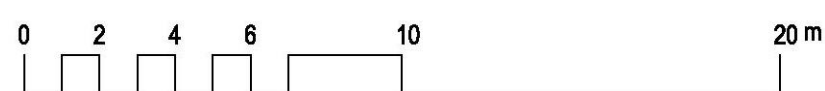
BASEMENT
RL 91.300 m



3 WESTERN ELEVATION

LVL 2
RL 101.800 m
LVL 1
RL 98.400 m
GND FLOOR
RL 94.700 m

BASEMENT
RL 91.300 m



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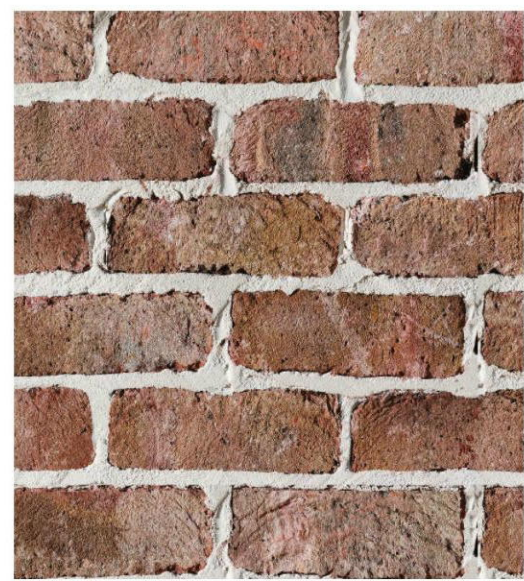
BUILDING ELEVATIONS

1:200 @ A1

DA3-00

23.09.2019

rev. B



FB
FACE BRICK SIMILAR TO AUSTRAL SAN SELMO RECLAIMED



MC
DARK GREY COLORBOND CLADDING
FIELDERS BOULEVARD PROFILE OR EQUIVALENT



PC-01
DARK GREY POWDER COAT OR SIMILAR, DULUX OR EQUIVALENT. ALL GLAZING SUITE MULLIONS / FRAMES TO MATCH PC-01



BAL
BRASS LOOK ANODIZED BALUSTRADE
MONACO STONE OR EQUIVALENT



TB
TIMBER BATTENS
TS
TIMBER SOFFIT



PC-02
YELLOW WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



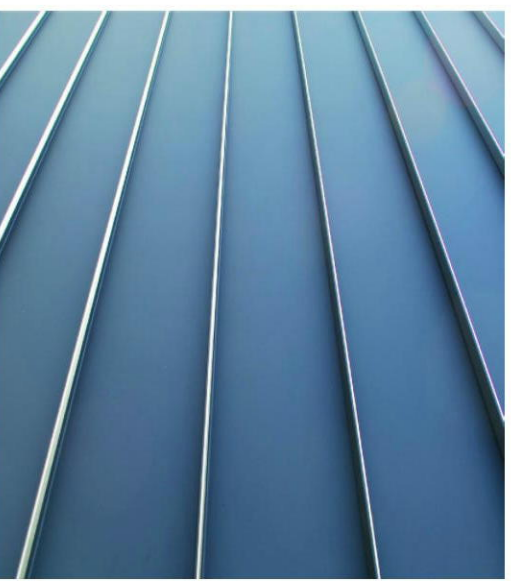
PC-03
WHITE WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



CONC.
EXPOSED CONCRETE COLUMNS



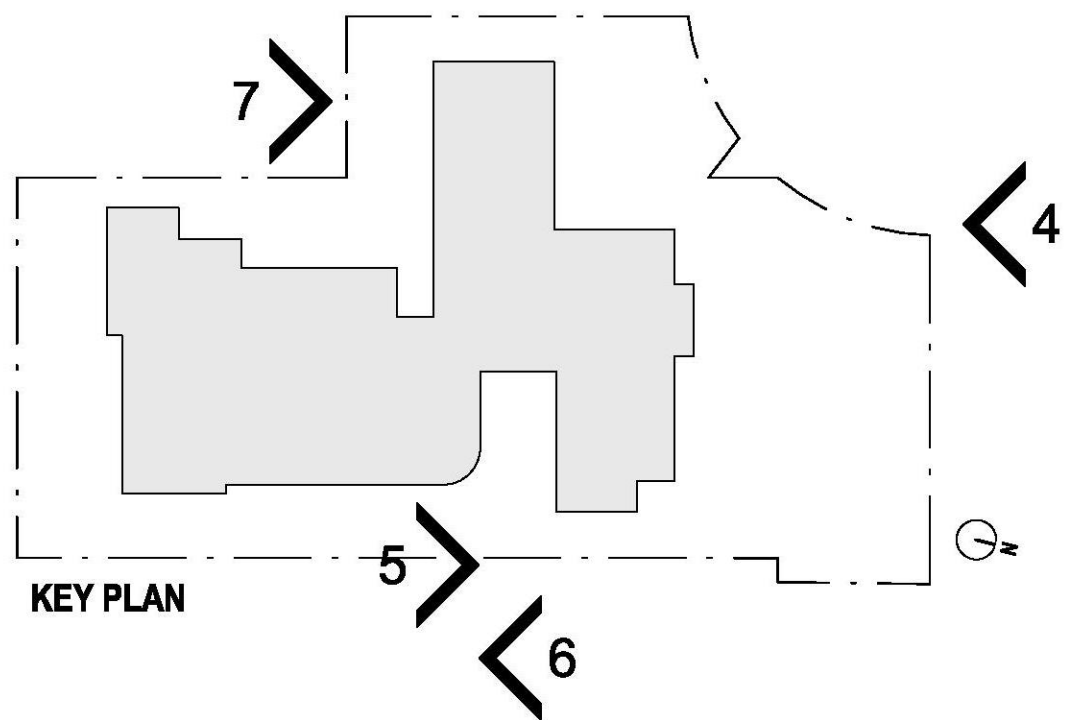
GL
FIXED AND OPERABLE GLAZING PANELS



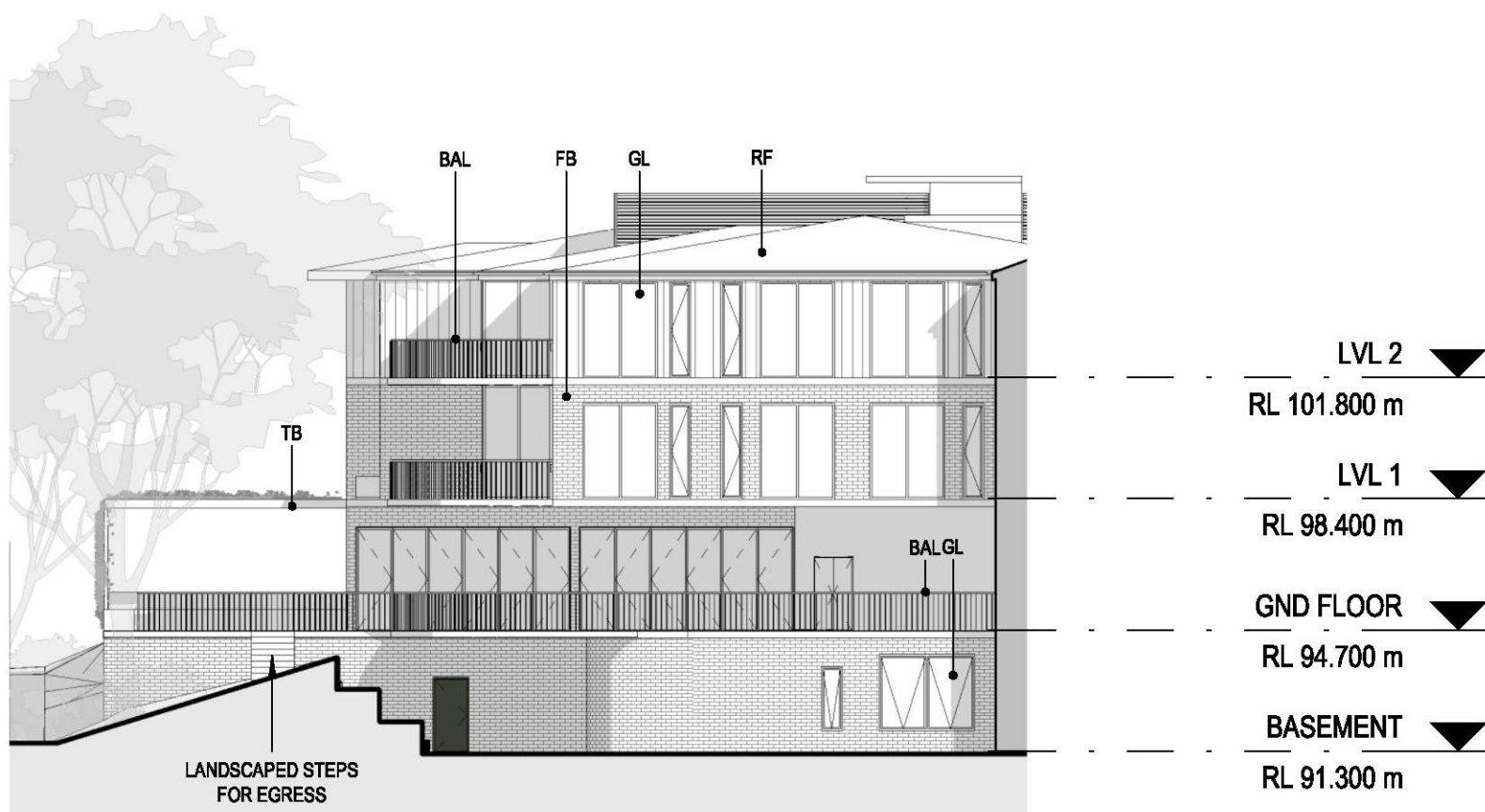
RF
DARK GREY COLORBOND ROOFING
FIELDERS PROMINENCE PROFILE OR EQUIVALENT



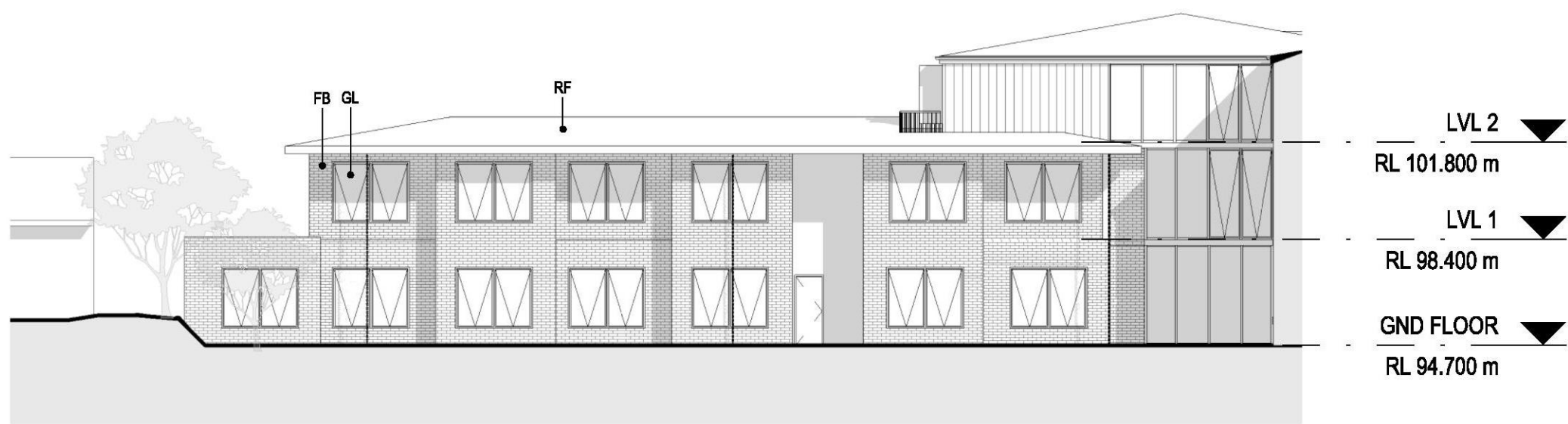
4 NORTHERN ELEVATION



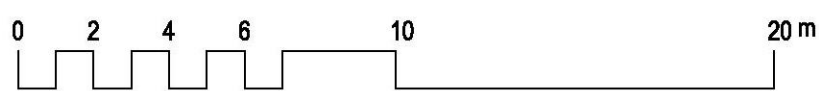
5 COURTYARD 2 ELEVATION



6 COURTYARD 2 ELEVATION



7 COURTYARD 1 ELEVATION



JAPARA
HEALTHCARE

**JAPARA HEALTHCARE - CARLINGFORD AGED
CARE FACILITY**
47 MURRAY FARM ROAD,
CARLINGFORD, NSW, 2118
JAPARA HEALTHCARE

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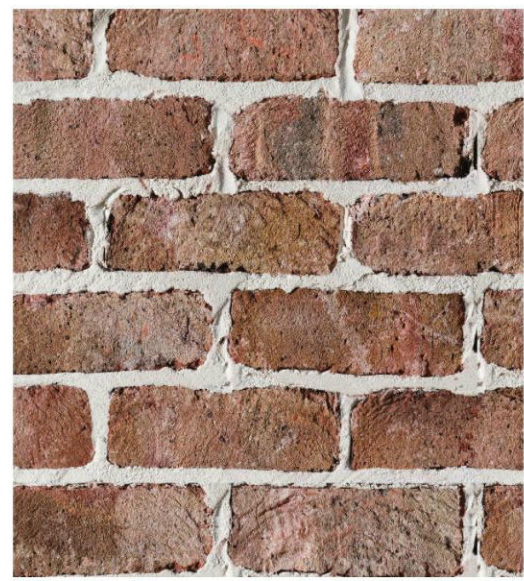
BUILDING ELEVATIONS

1 : 200 @ A1

DA3-01

23.09.2019

rev. B



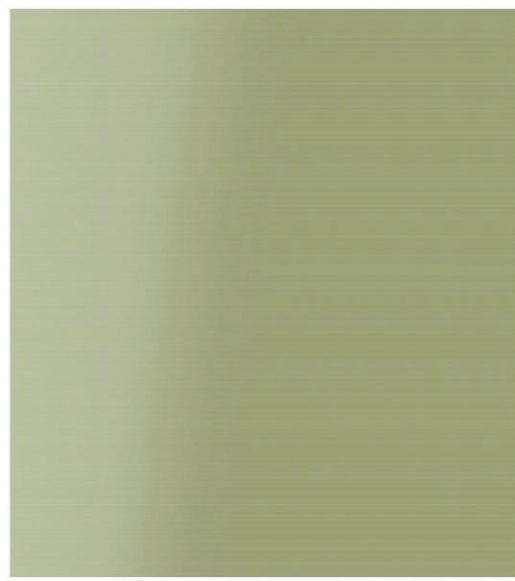
FB
FACE BRICK SIMILAR TO AUSTRAL SAN SELMO RECLAIMED



MC
DARK GREY COLORBOND CLADDING
FIELDERS BOULEVARD PROFILE OR EQUIVALENT



PC-01
DARK GREY POWDER COAT OR SIMILAR, DULUX OR
EQUIVALENT, ALL GLAZING SUITE MULLIONS / FRAMES
TO MATCH PC-01



BAL
BRASS LOOK ANODIZED BALUSTRADE
MONACO STONE OR EQUIVALENT



TB
TIMBER BATTENS
TS
TIMBER SOFFIT



PC-02
YELLOW WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



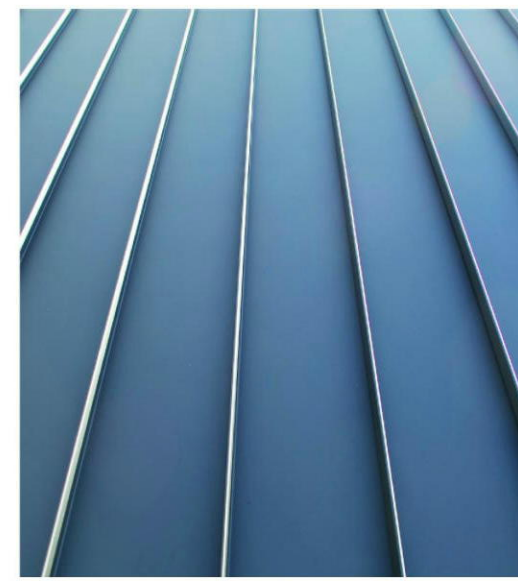
PC-03
WHITE WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT



CONC.
EXPOSED CONCRETE COLUMNS



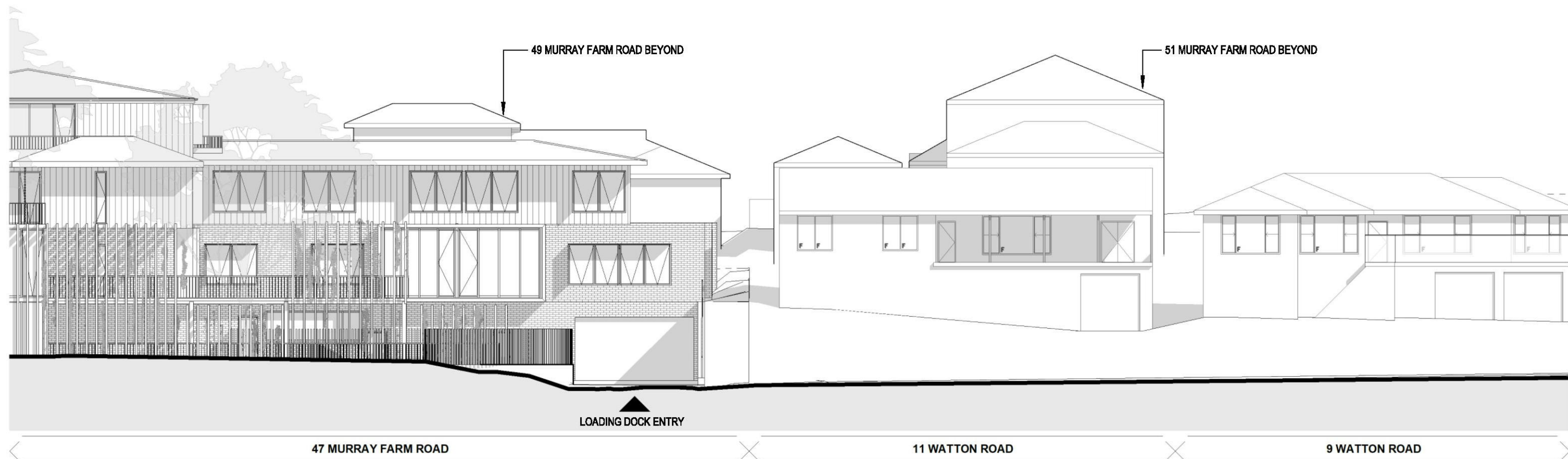
GL
FIXED AND OPERABLE GLAZING PANELS



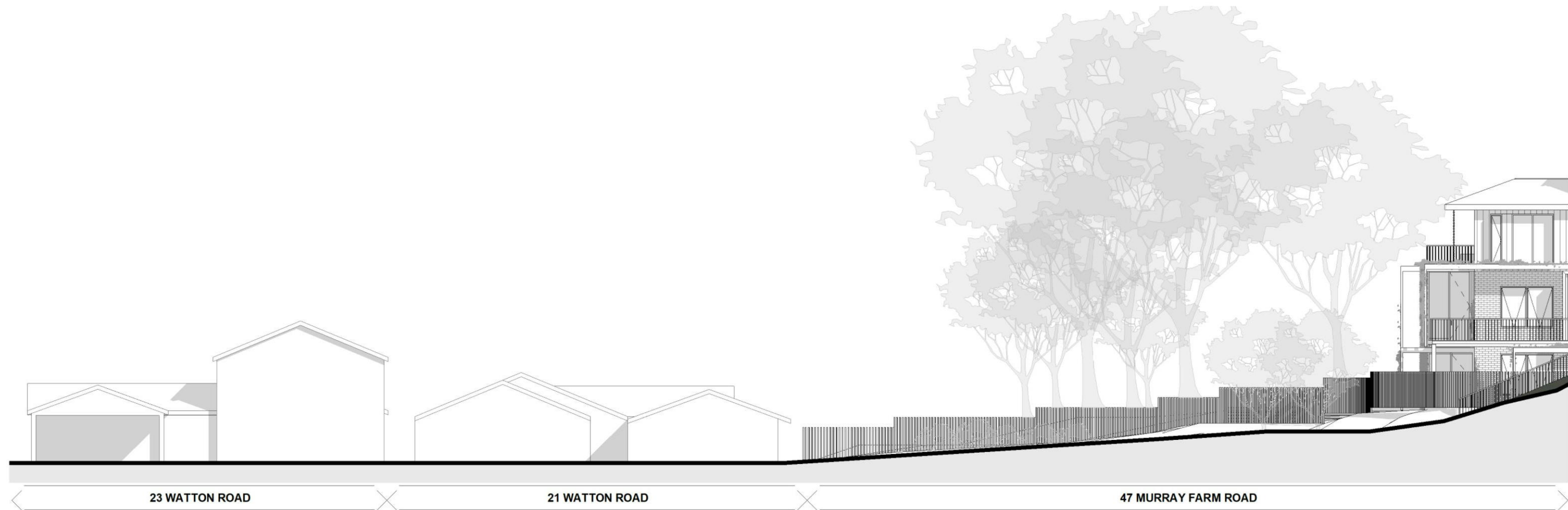
RF
DARK GREY COLORBOND ROOFING
FIELDERS PROMINENCE PROFILE OR EQUIVALENT



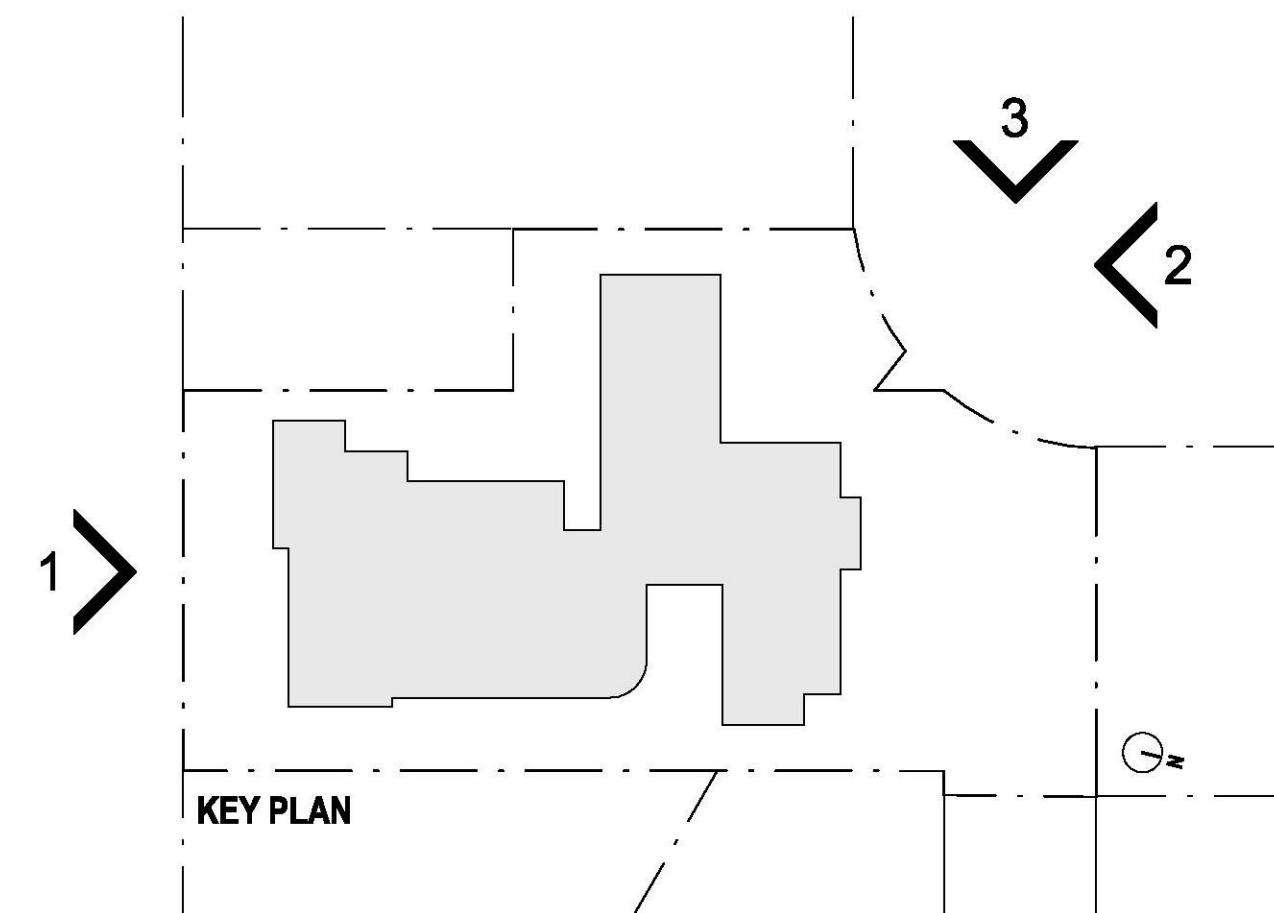
1 MURRAY FARM ROAD STREETSCAPE



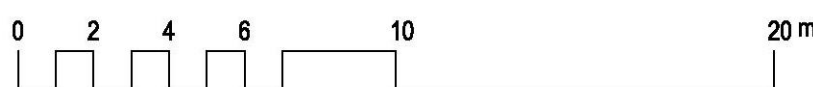
2 WATTON ROAD STREETSCAPE



3 WATTON ROAD STREETSCAPE



KEY PLAN



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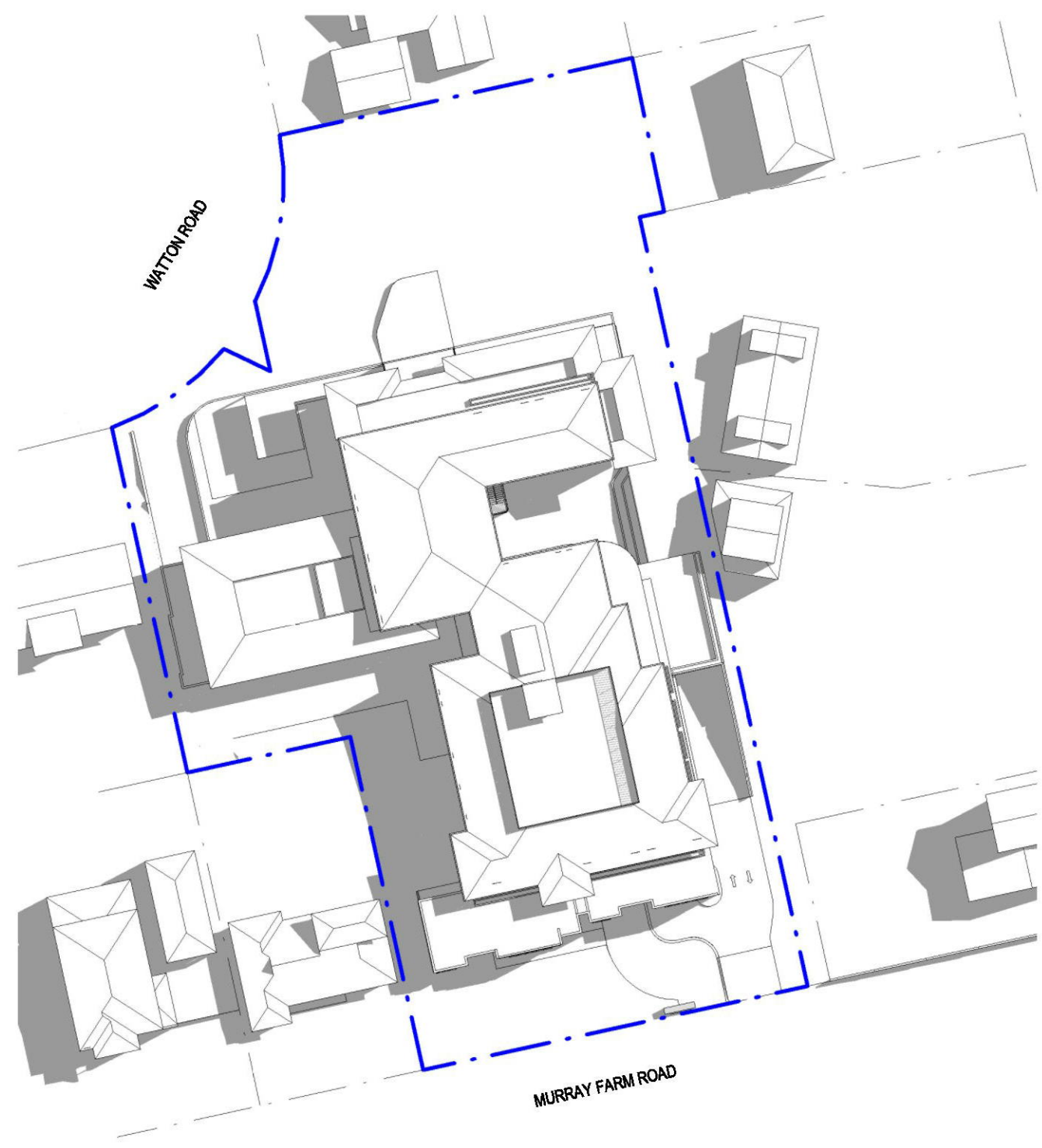
STREETSCAPE ELEVATION

1 : 200 @ A1

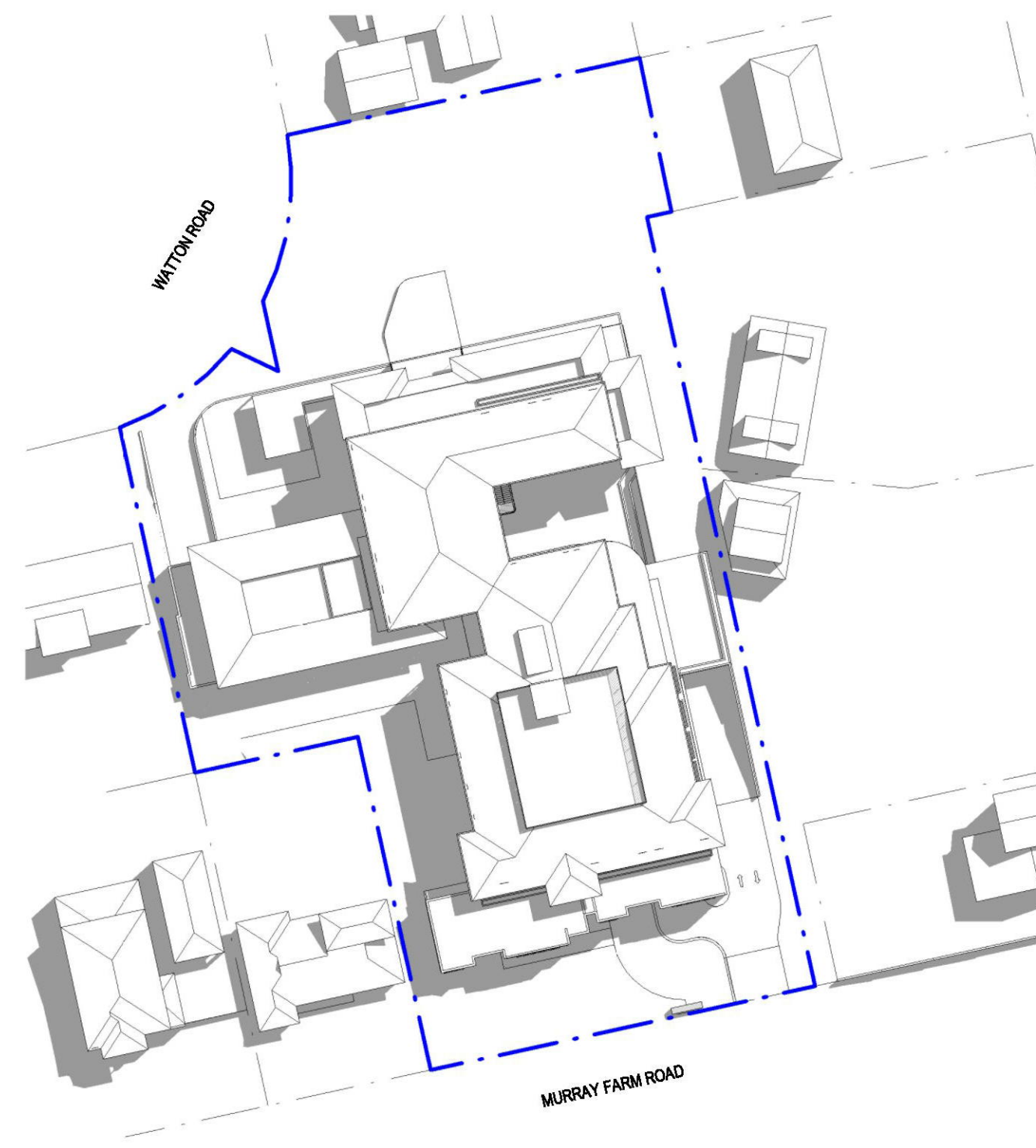
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23.09.2019

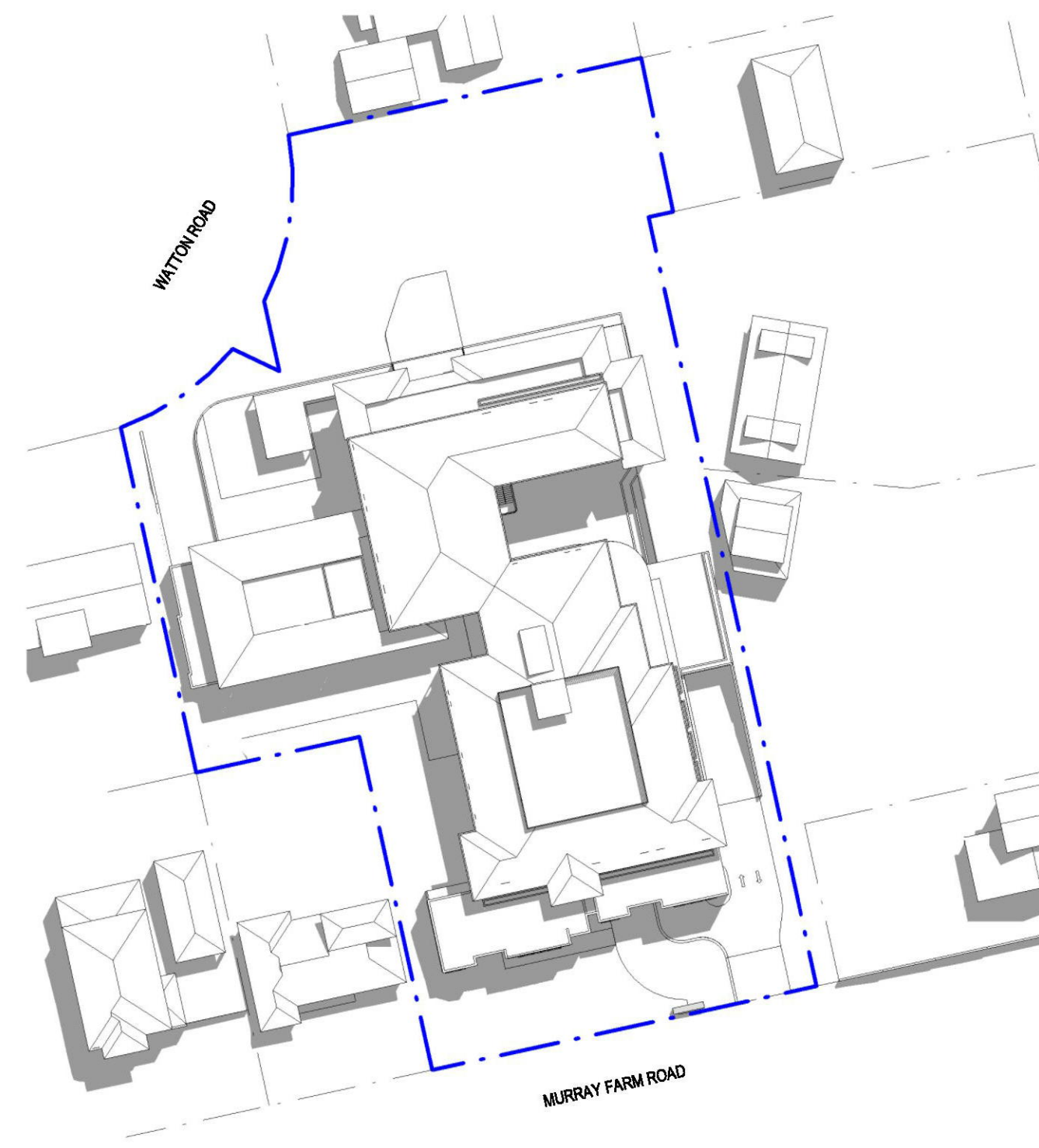
rev. B



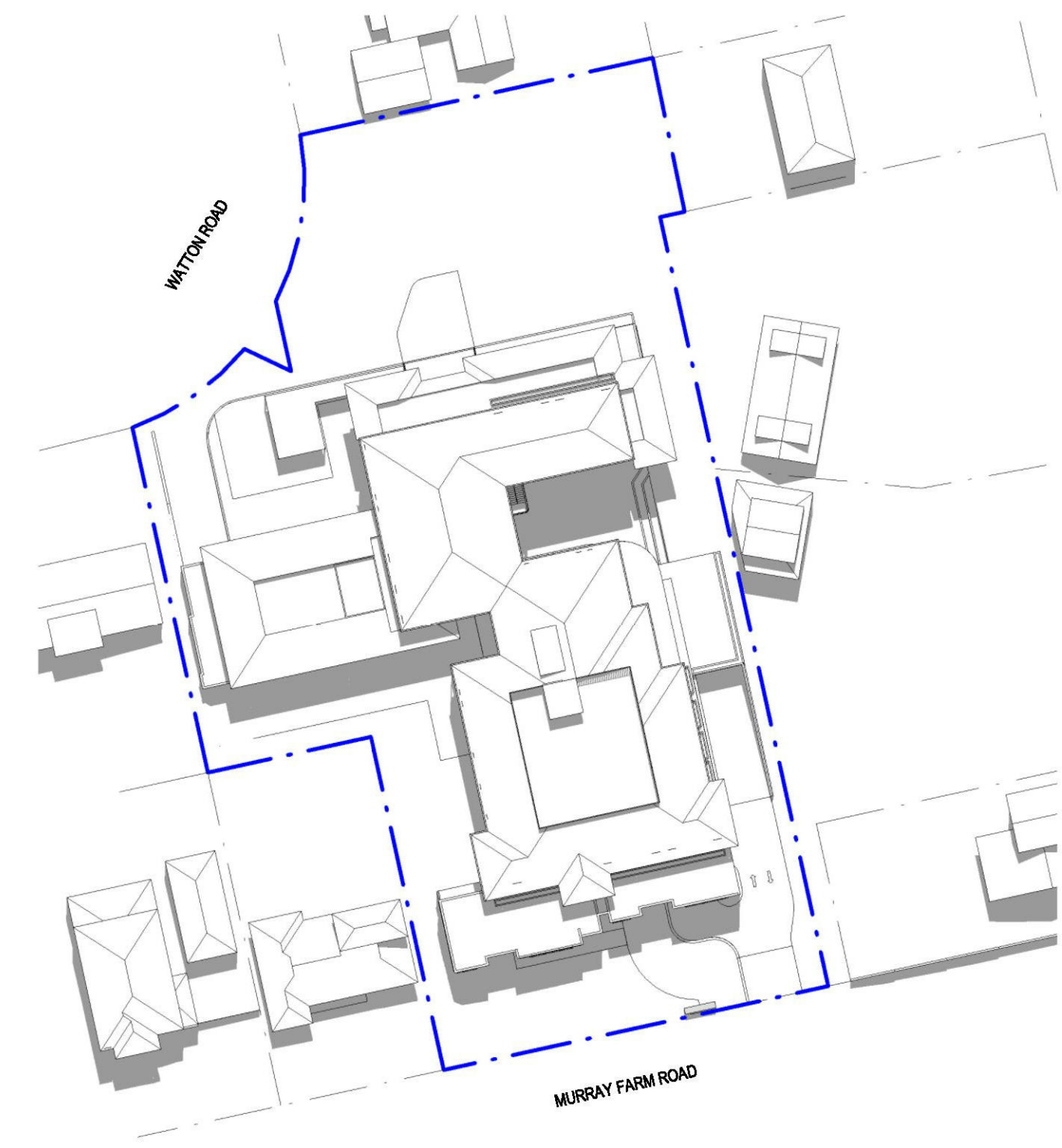
1 SHADOW DIAGRAM MARCH 20 @ 09AM



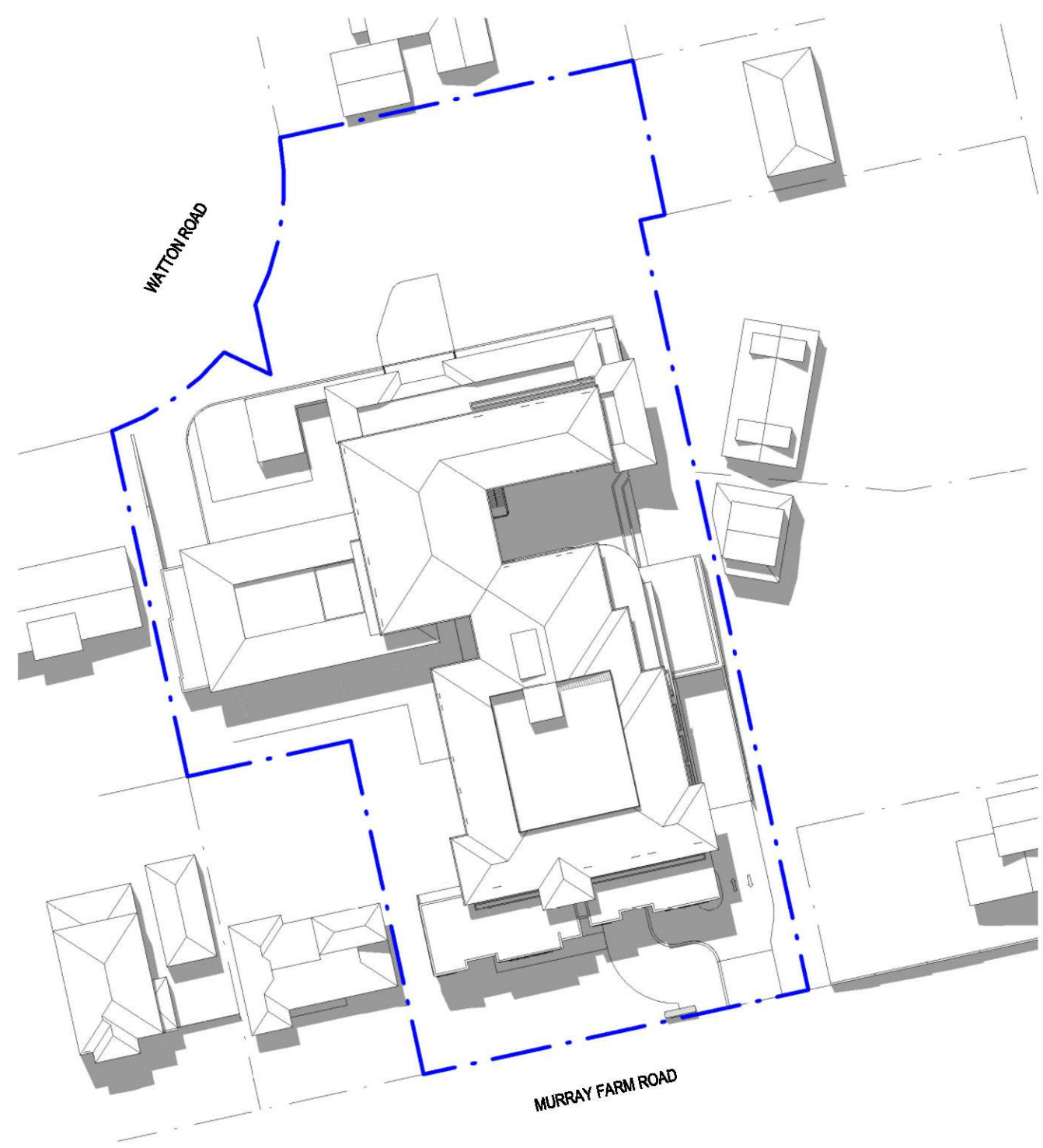
2 SHADOW DIAGRAM MARCH 20 @ 10AM



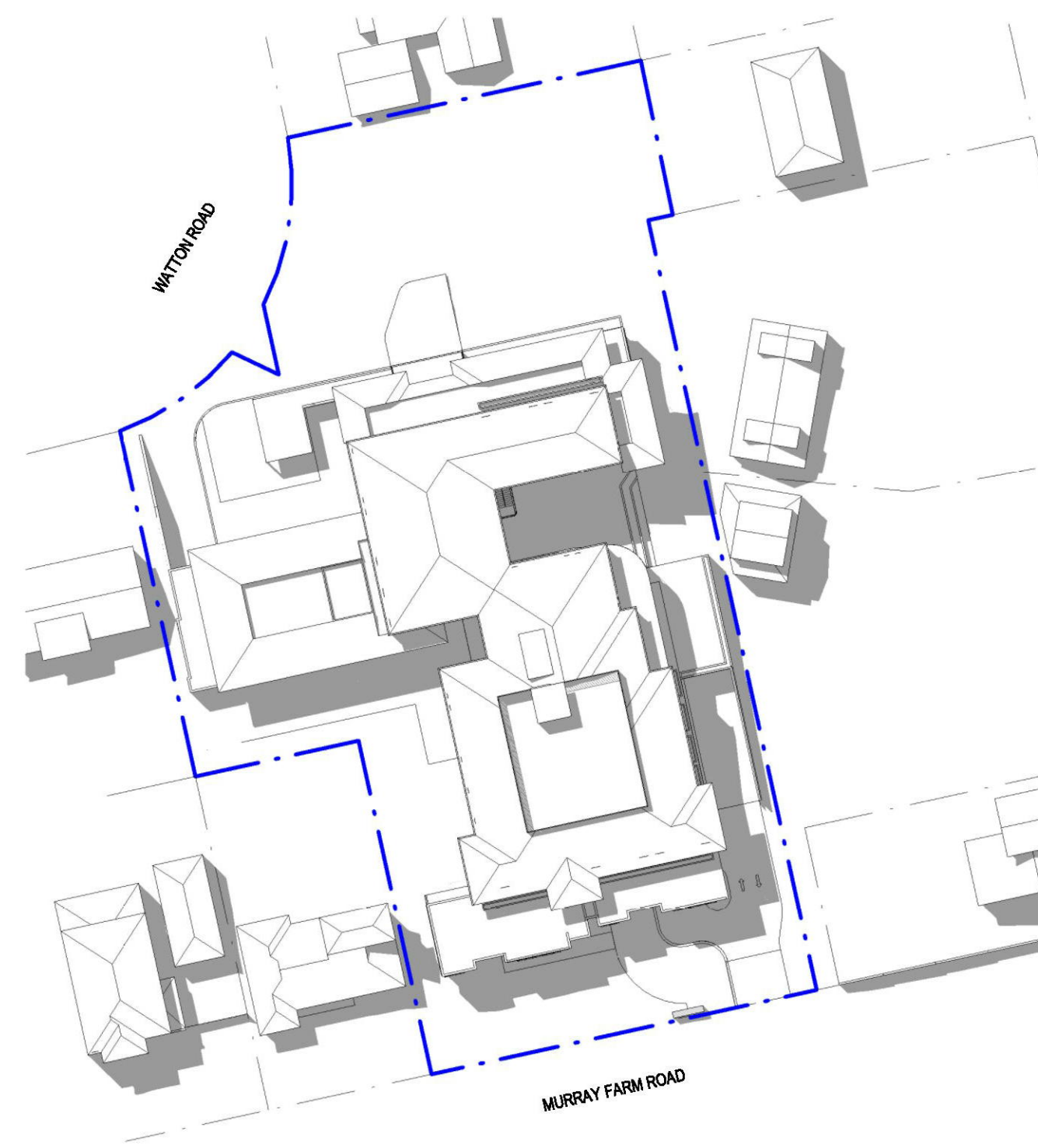
3 SHADOW DIAGRAM MARCH 20 @ 11AM



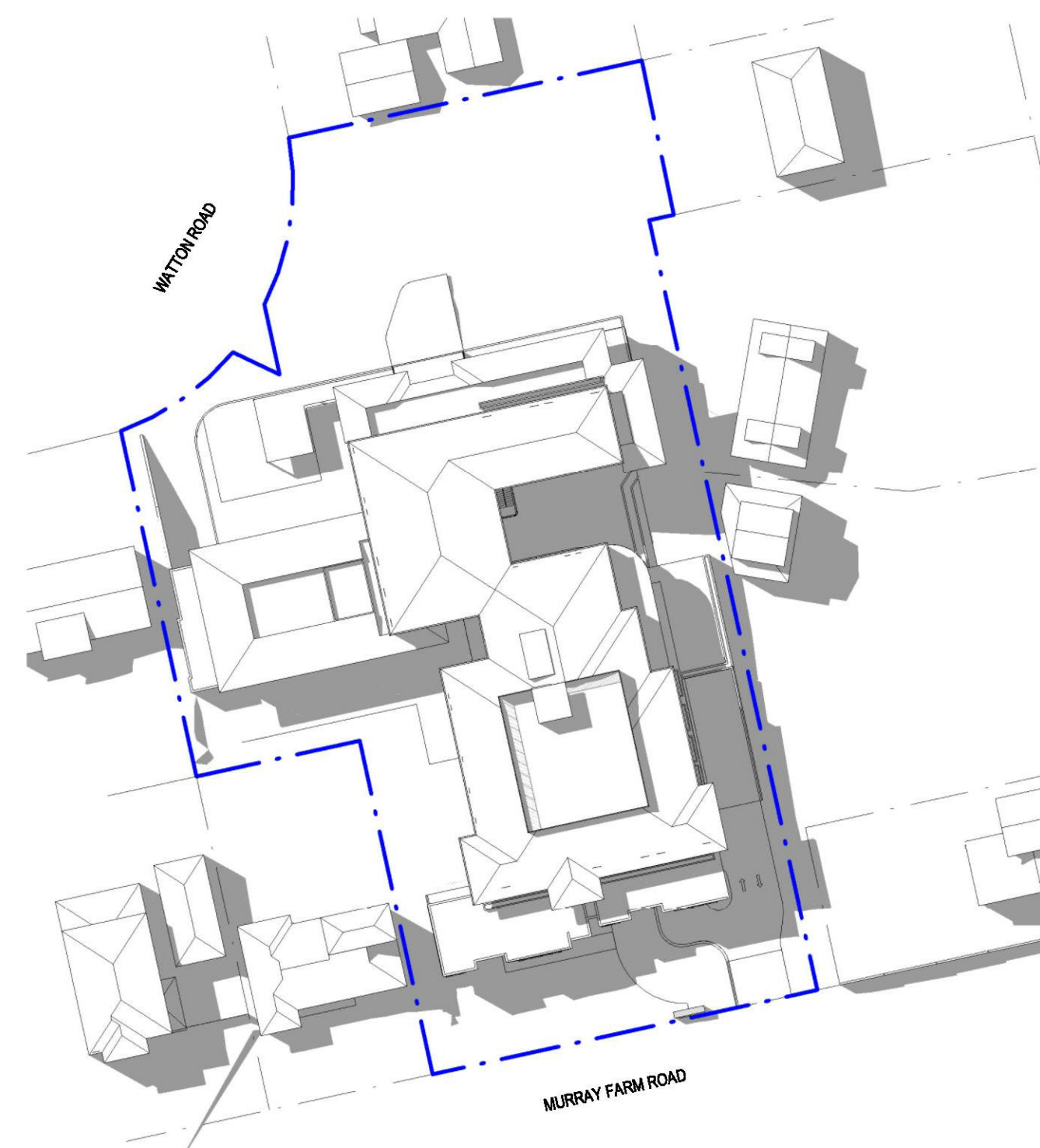
4 SHADOW DIAGRAM MARCH 20 @ 12PM



5 SHADOW DIAGRAM MARCH 20 @ 1PM



6 SHADOW DIAGRAM MARCH 20 @ 2PM



7 SHADOW DIAGRAM MARCH 20 @ 3PM

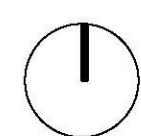
SUNLIGHT REQUIREMENTS:
Dwellings should be sited to allow adequate provision for access of direct sunlight to private open space within the subject land and on adjacent properties. At least 50% of the required private open space within the subject property and that on adjoining properties is to receive direct sunlight for a minimum of 4 hours between 9am and 3pm on 21 June.

**DEVELOPMENT CONTROL PLAN - THE HILLS SHIRE COUNCIL
PART B SECTION 2**

- **49 Murray Farm Rd: Complies** – No impact from our development
- **11 Watton Rd: Complies** – Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 9am.
- **21 Watton Rd – Complies** – No impact from our development
- **61 Oakes Rd – Complies** – No impact from our development
- **63 Oakes Rd – Complies** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.
- **41A Murray Farm Rd** – Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.
- **39 Murray Farm Rd** - No impact from our development

The private open spaces of **ALL** adjacent dwellings receive more than the minimum 4 hours of direct sunlight to at least 50% of their private open space between 9am-3pm on the 20 March & 23 September as per the HDCP 2012.

0 6 12 18 30 60 m



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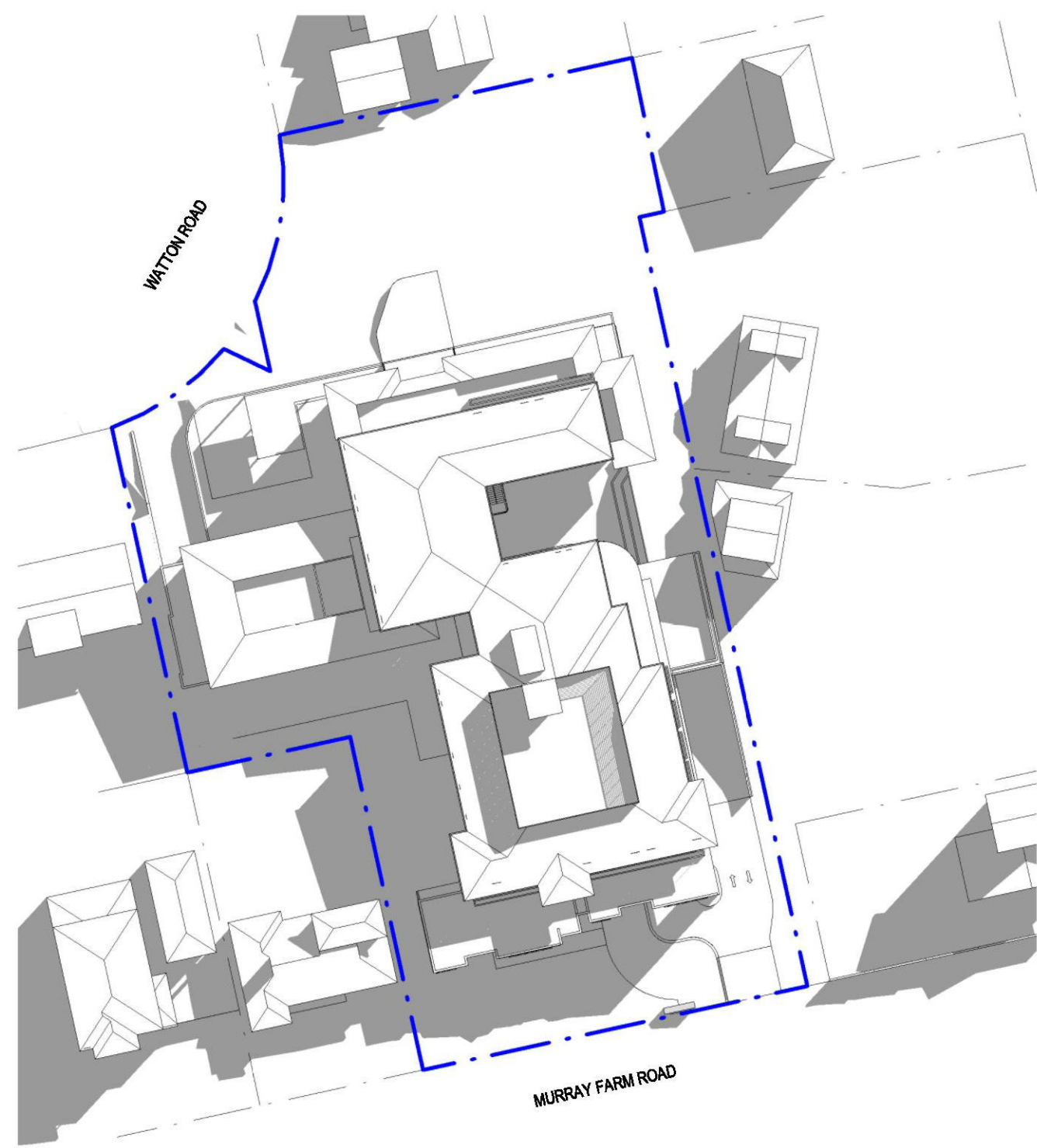
SHADOW DIAGRAMS - AUTUMN EQUINOX

1: 750 @ A1

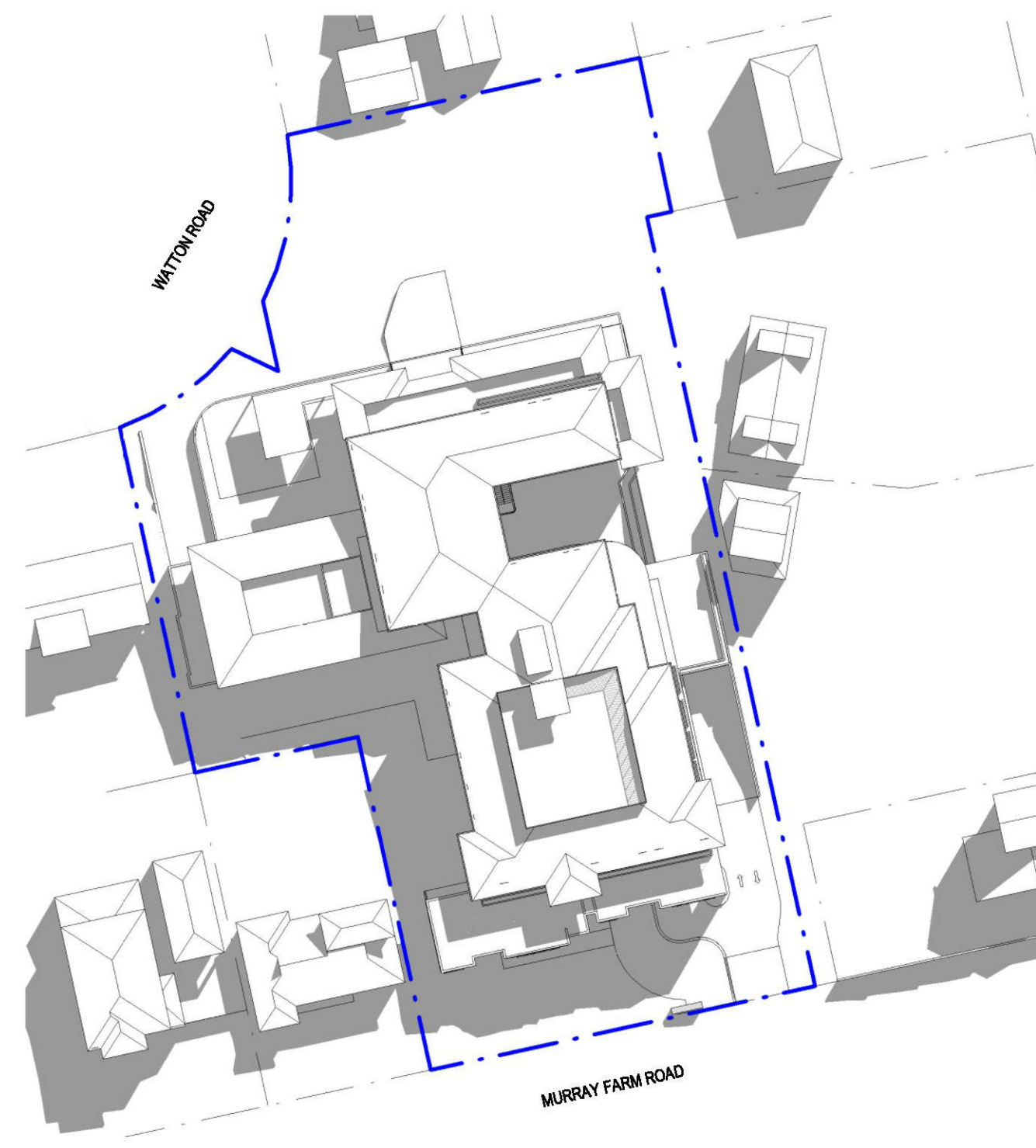
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DA4-00

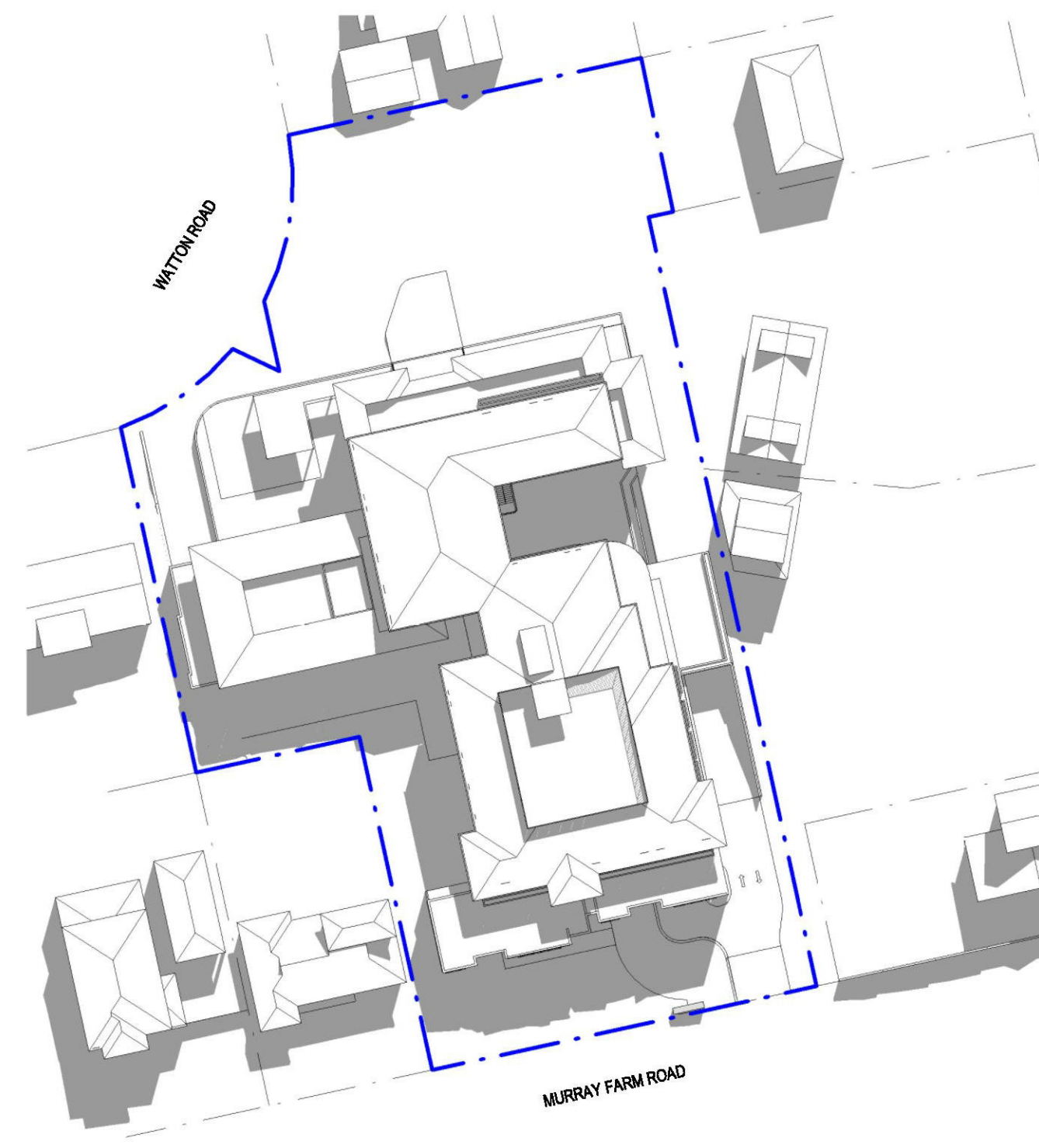
rev. B



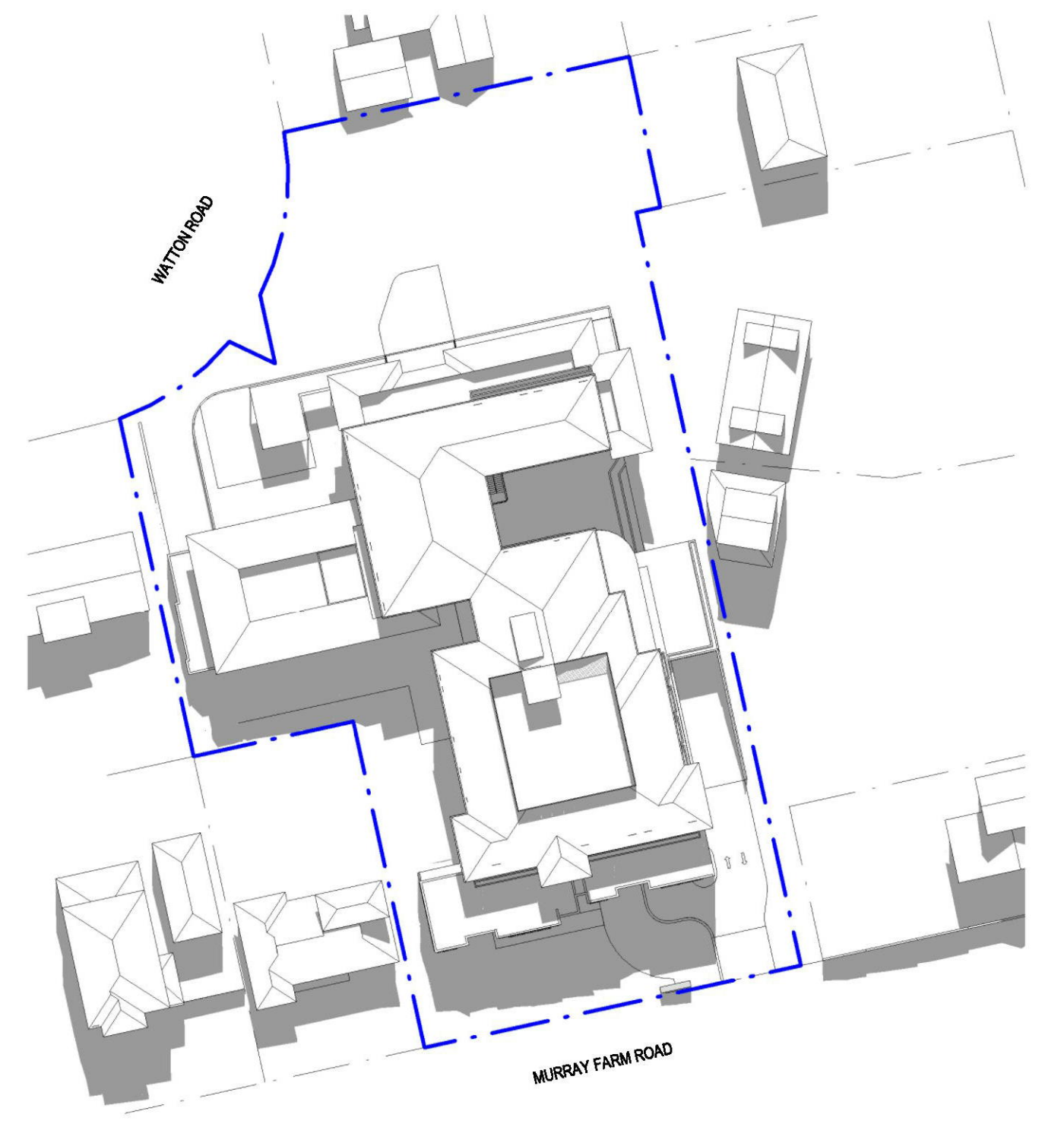
1 SHADOW DIAGRAM JUNE 21 @ 09AM



2 SHADOW DIAGRAM JUNE 21 @ 10AM



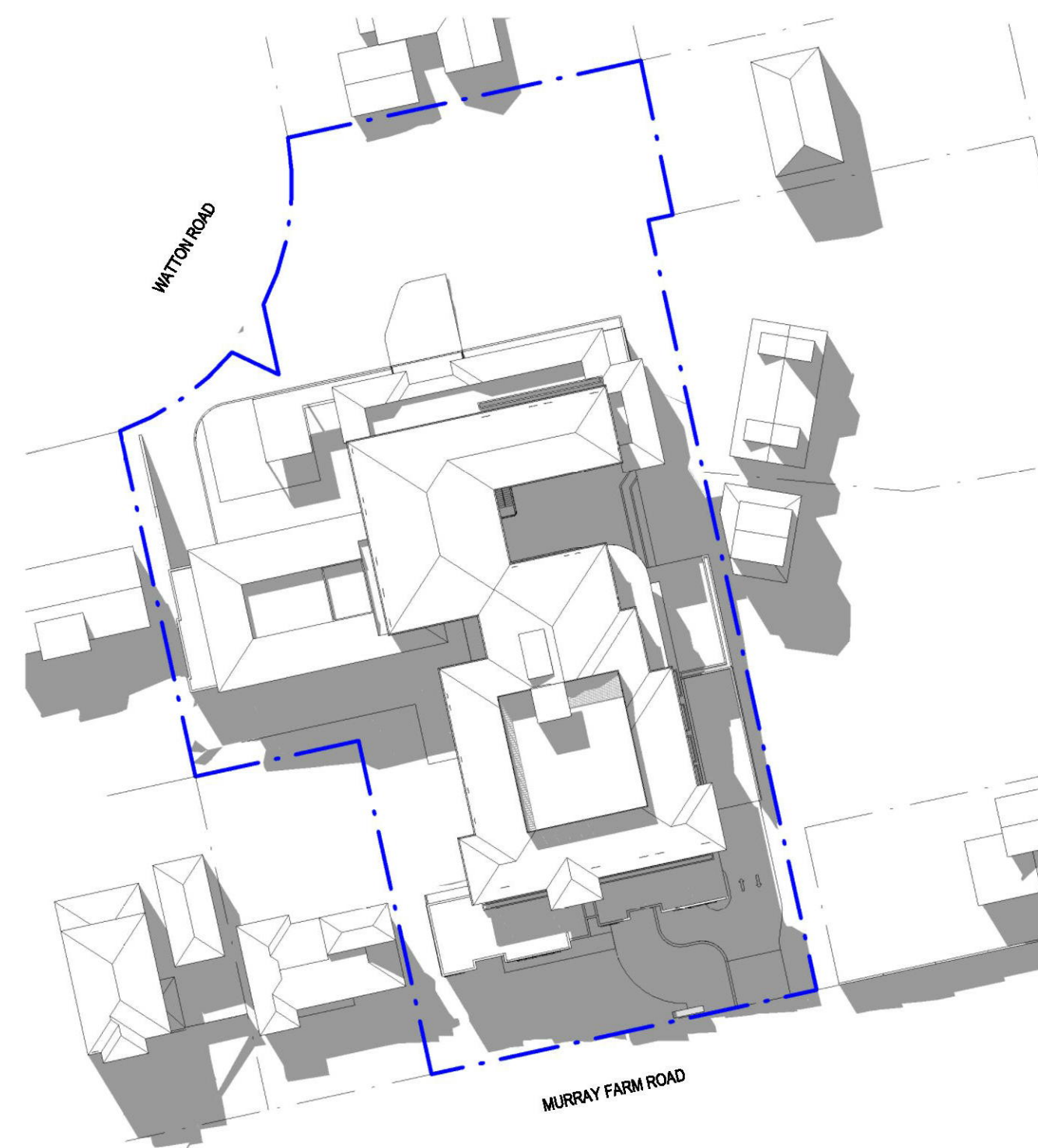
3 SHADOW DIAGRAM JUNE 21 @ 11AM



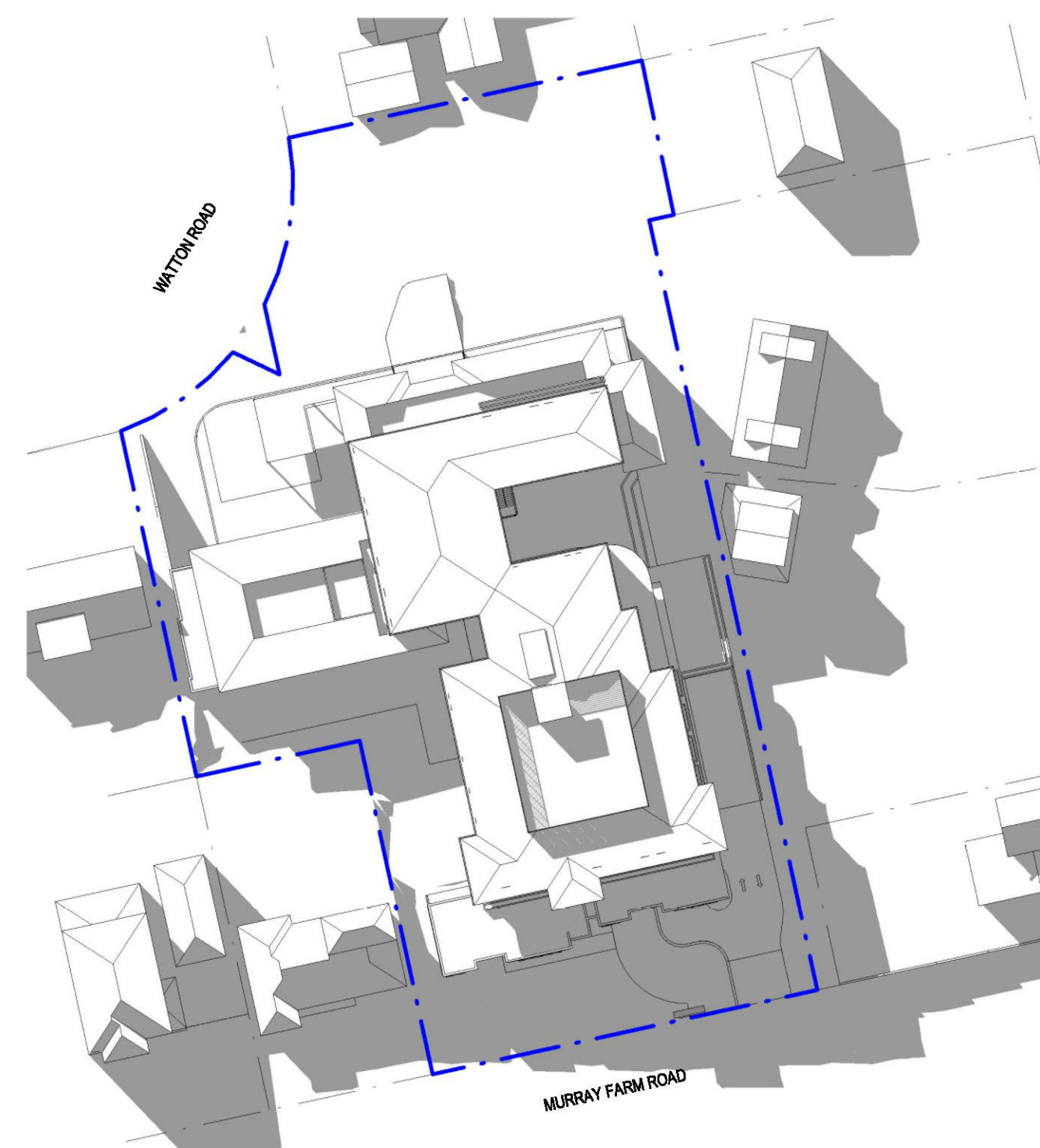
4 SHADOW DIAGRAM JUNE 21 @ 12PM



5 SHADOW DIAGRAM JUNE 21 @ 1PM



6 SHADOW DIAGRAM JUNE 21 @ 2PM



7 SHADOW DIAGRAM JUNE 21 @ 3PM

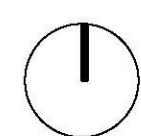
SUNLIGHT REQUIREMENTS:
Dwellings should be sited to allow adequate provision for access of direct sunlight to private open space within the subject land and on adjacent properties. At least 50% of the required private open space within the subject property and that on adjoining properties is to receive direct sunlight for a minimum of 4 hours between 9am and 3pm on 21 June.

**DEVELOPMENT CONTROL PLAN - THE HILLS SHIRE COUNCIL
PART B SECTION 2**

- **49 Murray Farm Rd: Complies** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 9am.
- **11 Watton Rd: Complies** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing between 9-10am.
- **21 Watton Rd - Complies** - No impact from our development
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- **63 Oakes Rd - Complies** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.
- **41A Murray Farm Rd** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.
- **39 Murray Farm Rd** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.

The private open spaces of **ALL** adjacent dwellings receive more than the minimum 4 hours of direct sunlight to at least 50% of their private open space between 9am-3pm on the 21 June as per the HDCP 2012.

0 6 12 18 30 60 m



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JAPARA HEALTHCARE

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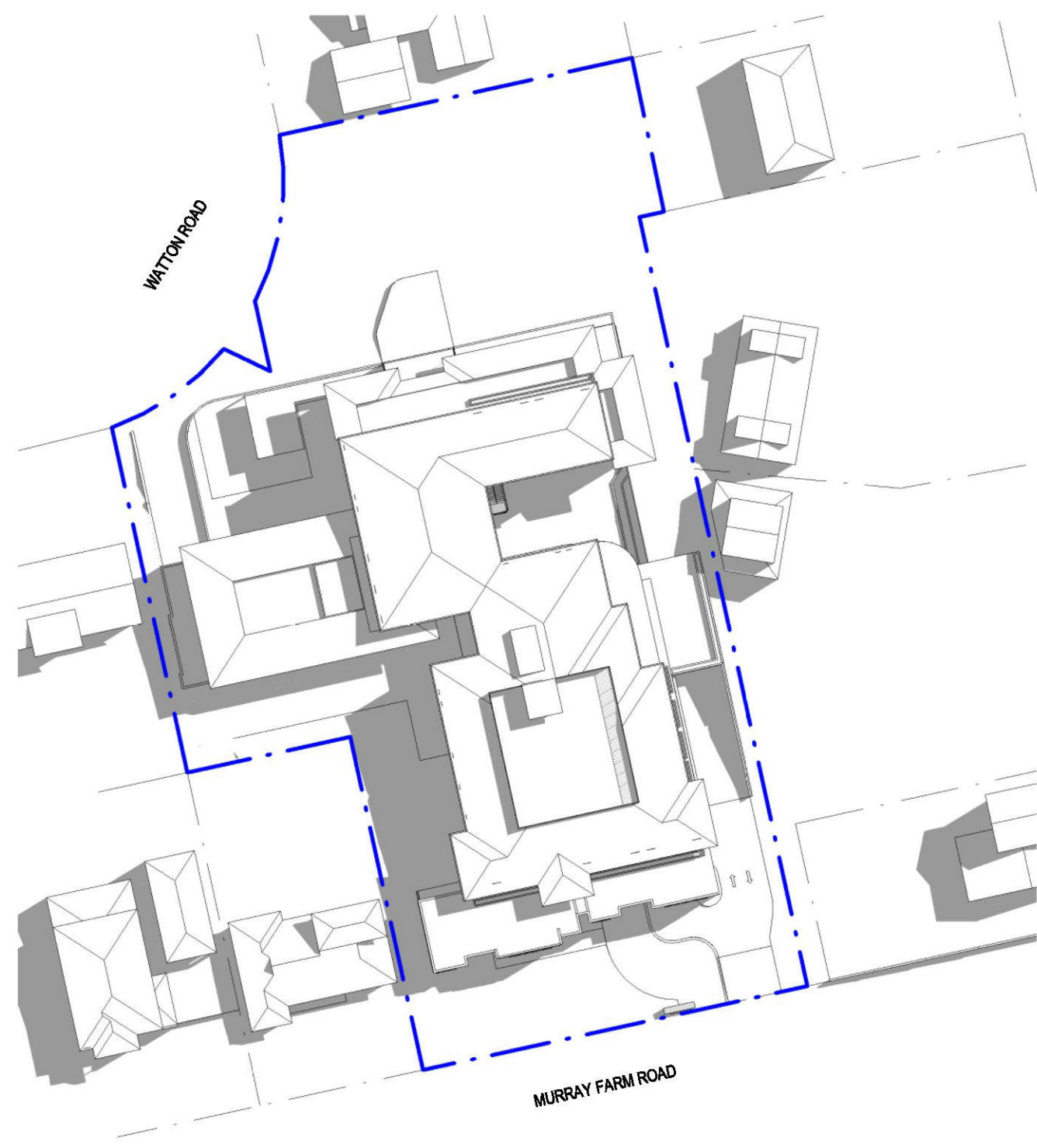
SHADOW DIAGRAMS - WINTER SOLSTICE

1: 750 @ A1

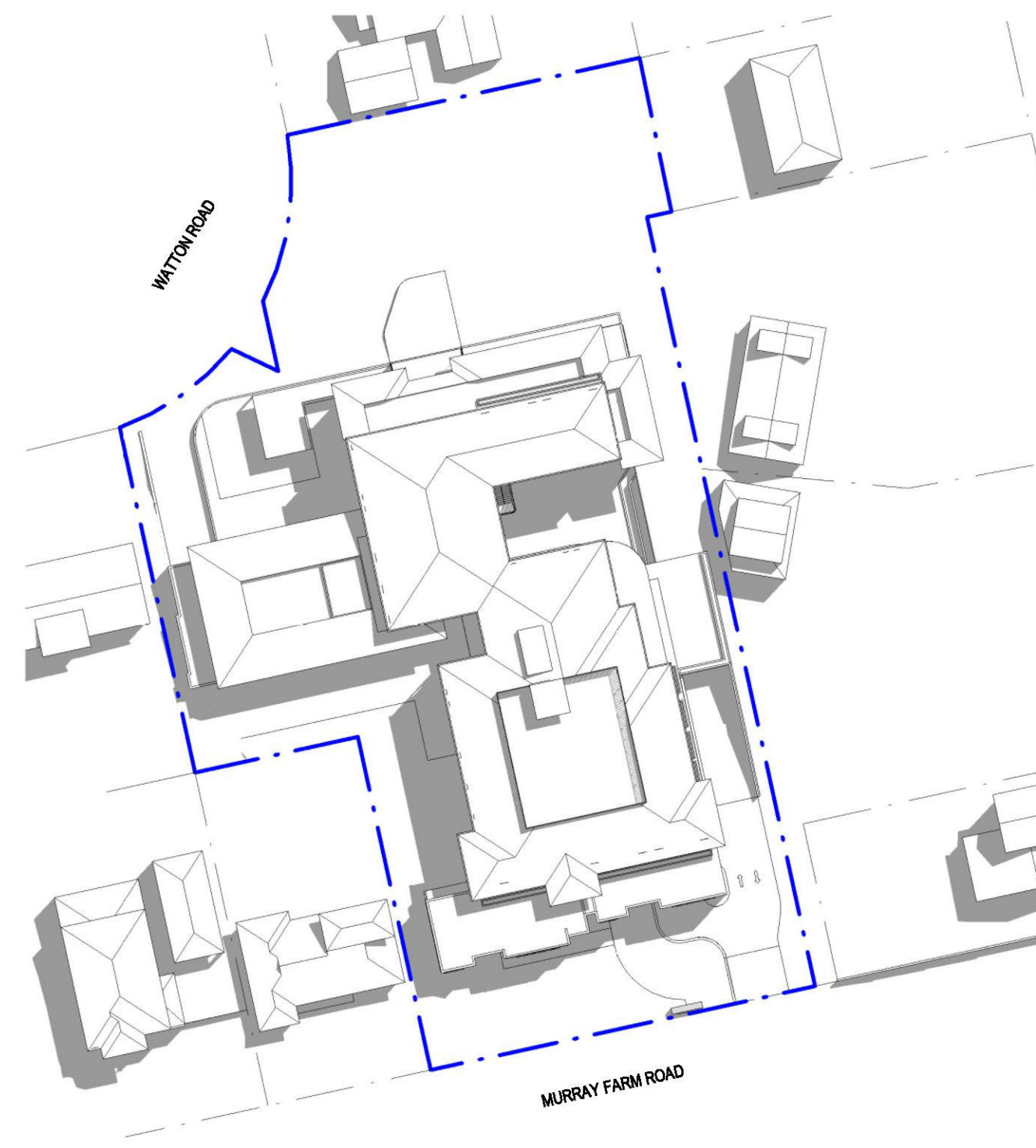
DA4-01

23.09.2019

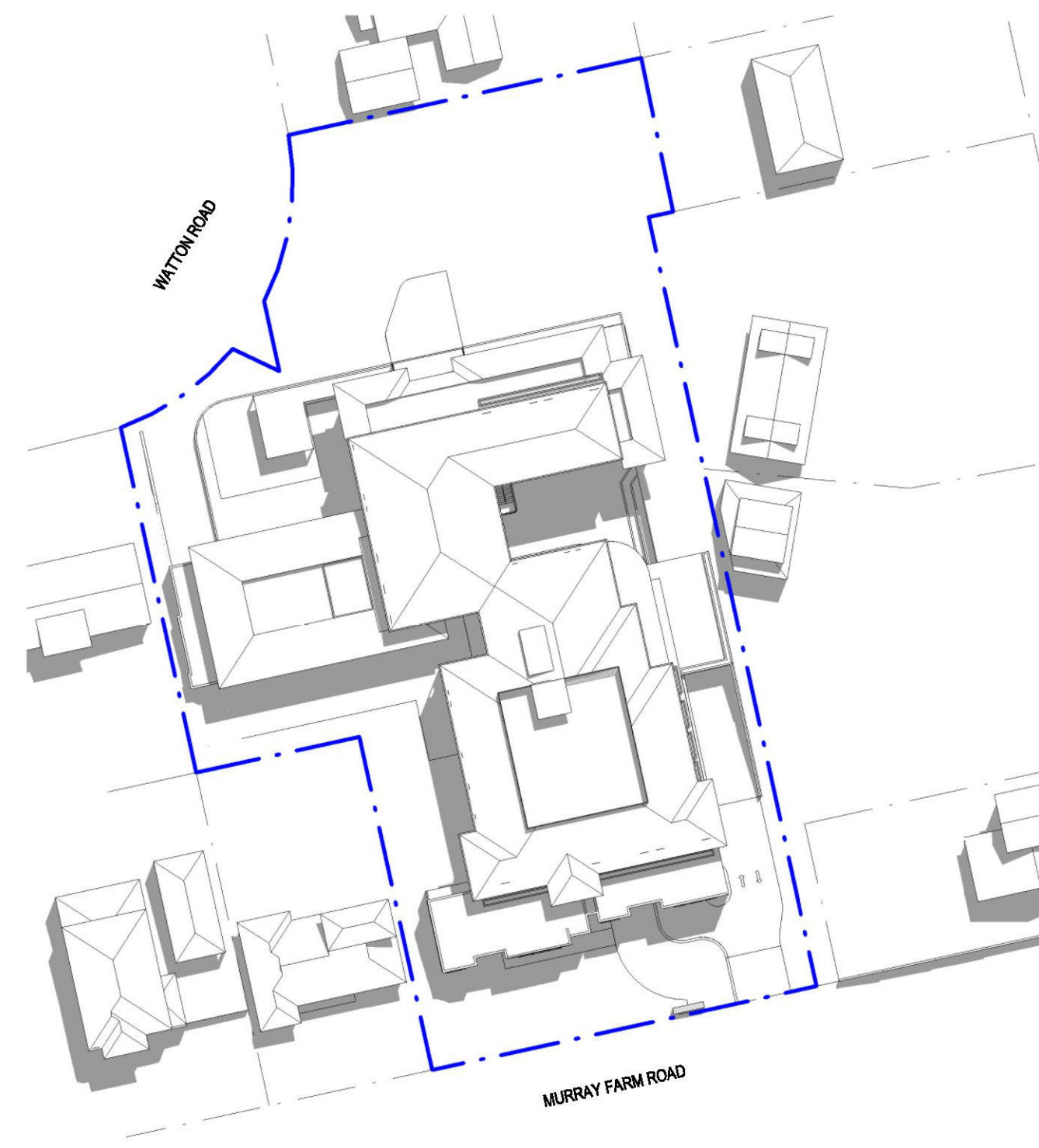
rev. A



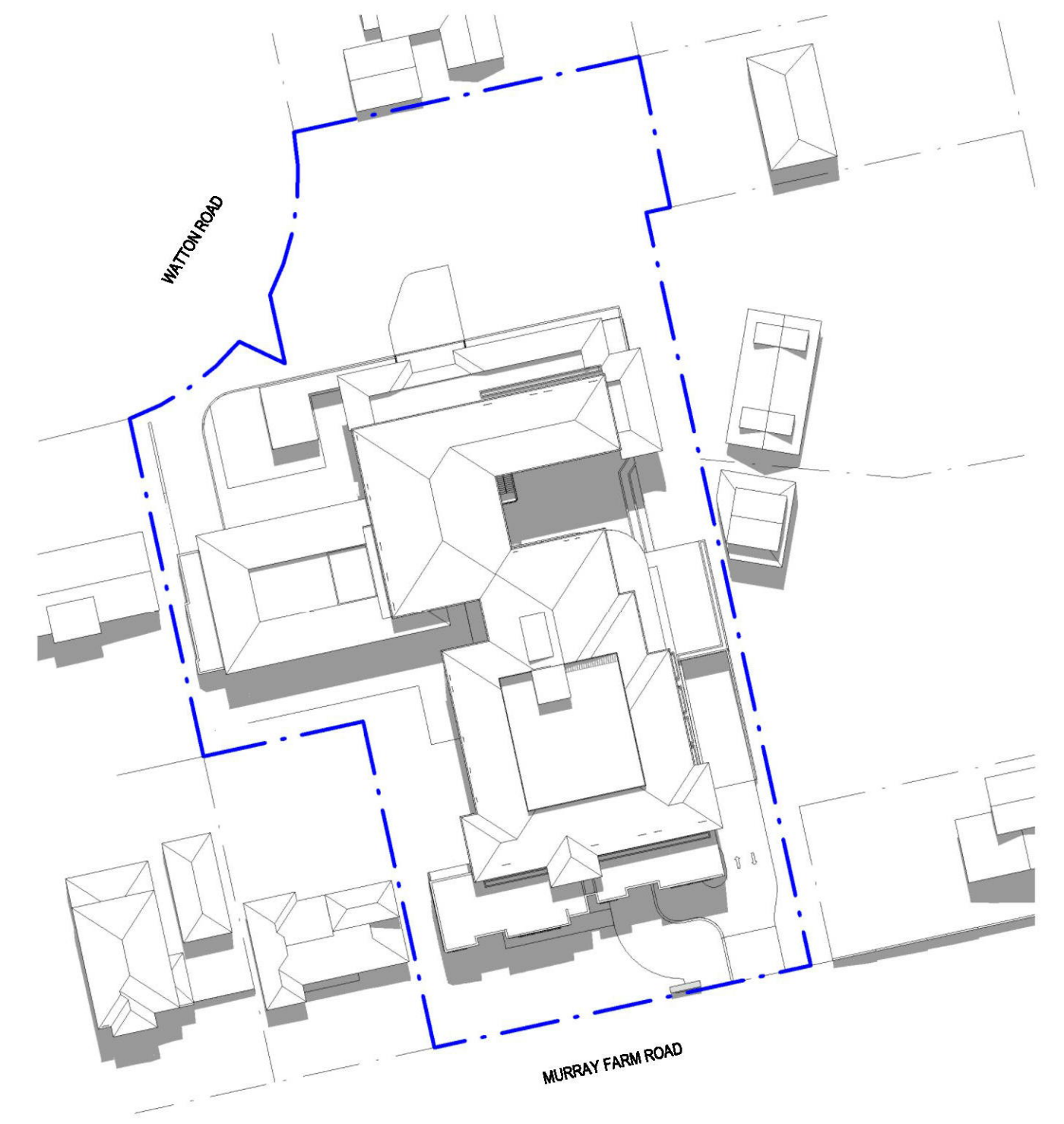
1 SHADOW DIAGRAM SEPTEMBER 23 @ 09AM



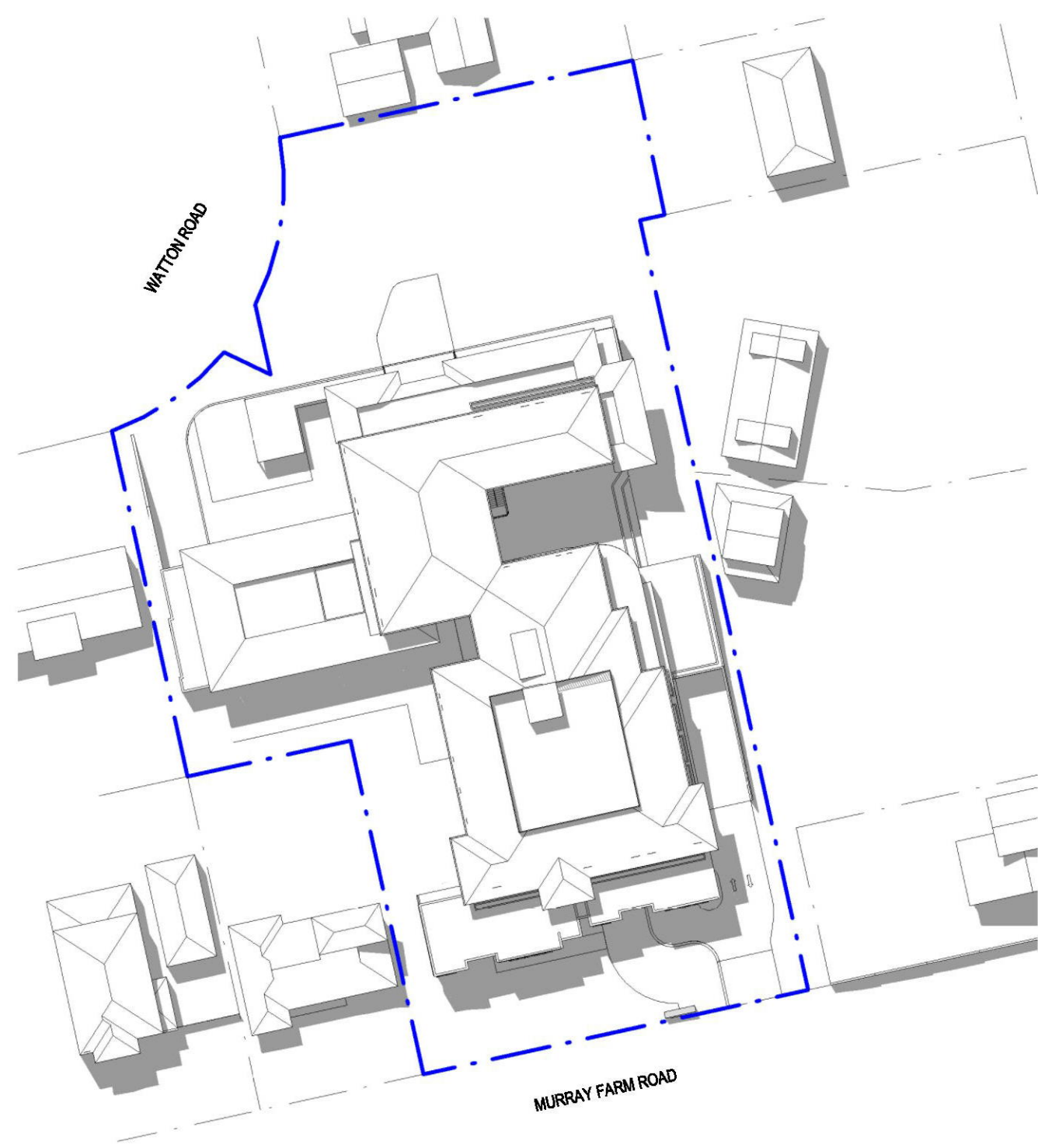
2 SHADOW DIAGRAM SEPTEMBER 23 @ 10AM



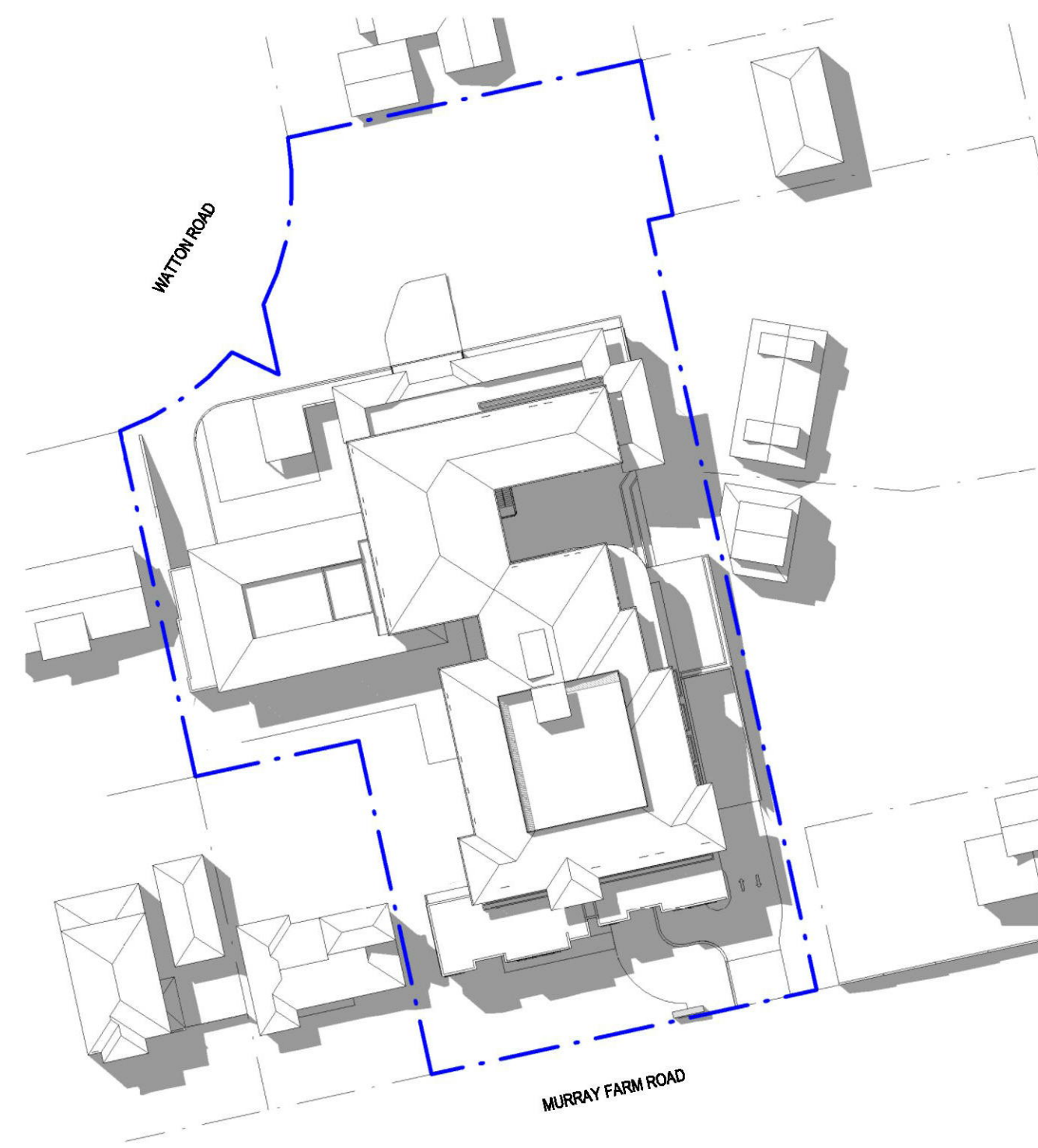
3 SHADOW DIAGRAM SEPTEMBER 23 @ 11AM



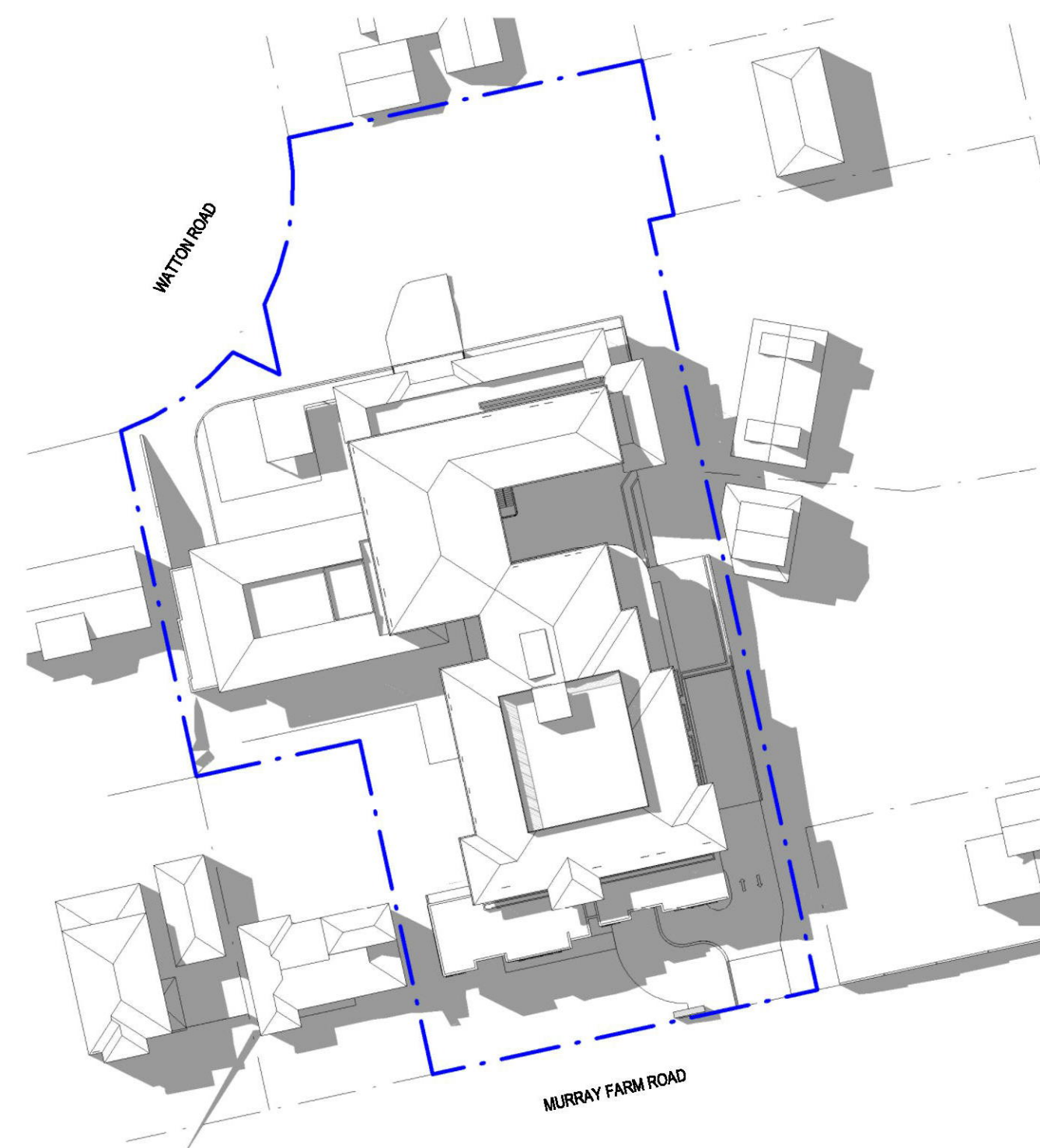
4 SHADOW DIAGRAM SEPTEMBER 23 @ 12PM



5 SHADOW DIAGRAM SEPTEMBER 23 @ 1PM



6 SHADOW DIAGRAM SEPTEMBER 23 @ 2PM



7 SHADOW DIAGRAM SEPTEMBER 23 @ 3PM

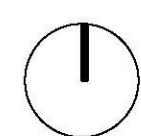
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**DEVELOPMENT CONTROL PLAN - THE HILLS SHIRE COUNCIL
PART B SECTION 2**

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The private open spaces of **ALL** adjacent dwellings receive more than the minimum 4 hours of direct sunlight to at least 50% of their private open space between 9am-3pm on the 20 March & 23 September as per the HDCP 2012.

0 6 12 18 30 60 m



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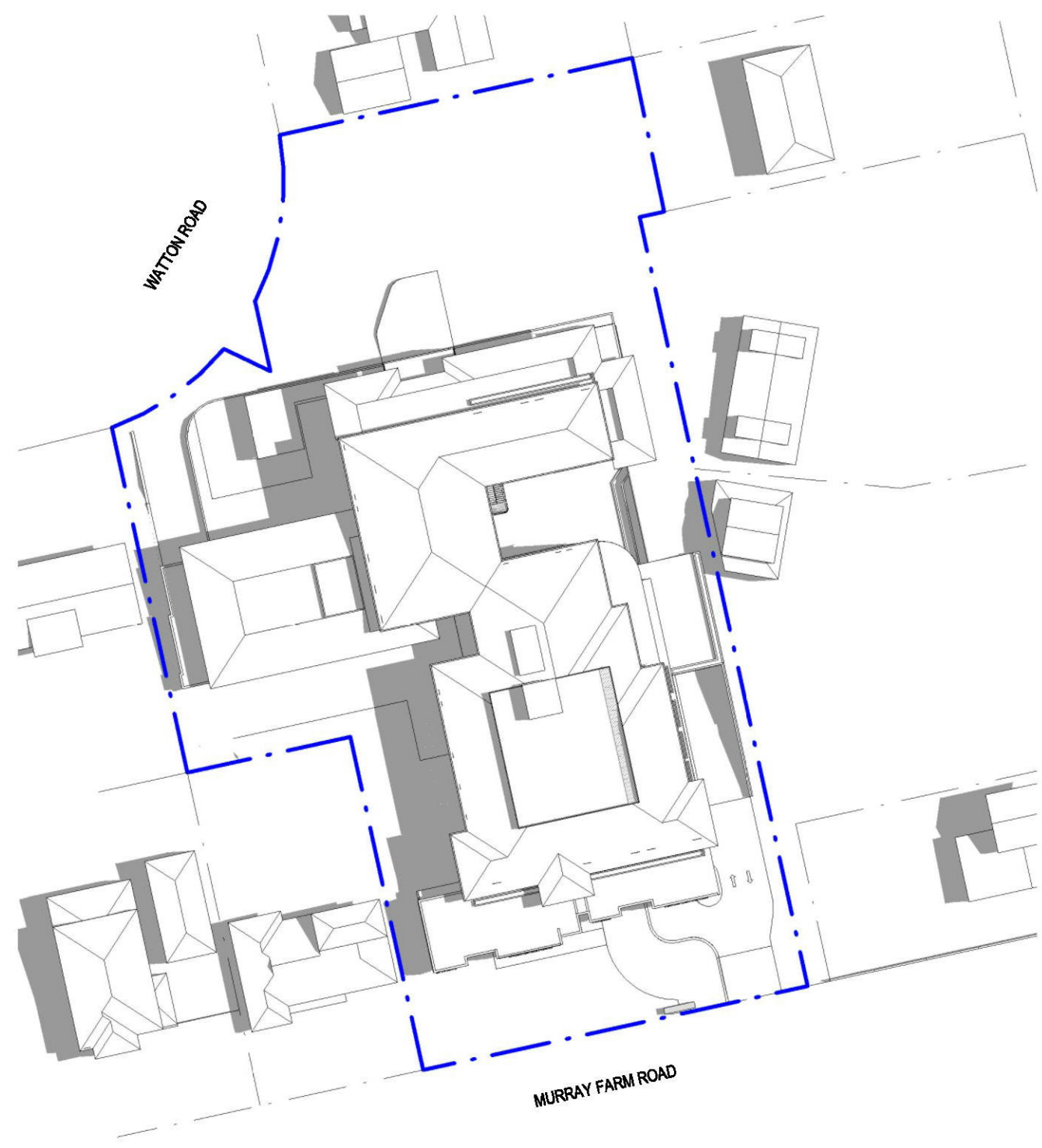
SHADOW DIAGRAMS - SPRING EQUINOX

1: 750 @ A1

23.09.2019

DA4-02

rev. A



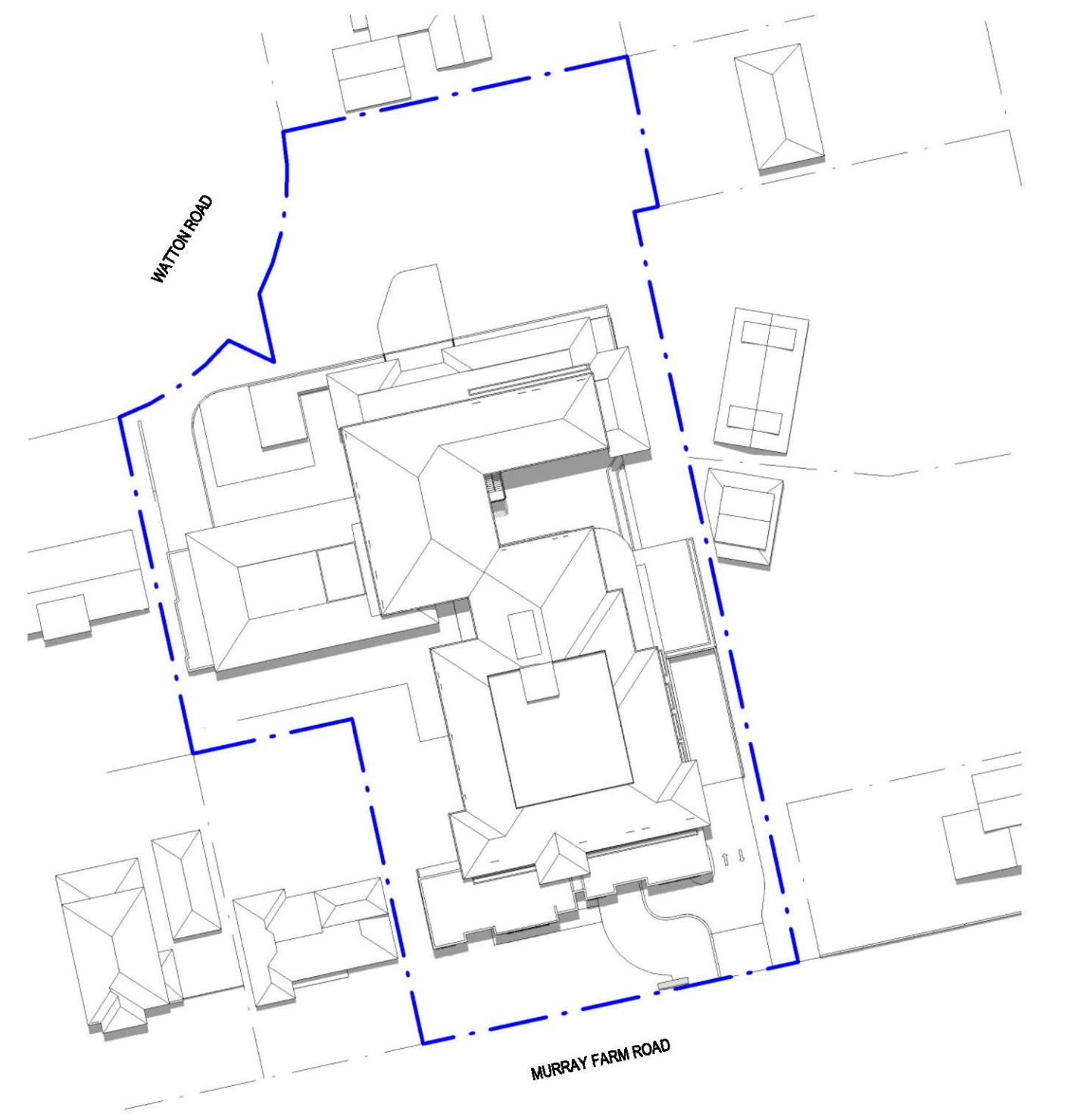
1 SHADOW DIAGRAM DECEMBER 21 @ 09AM



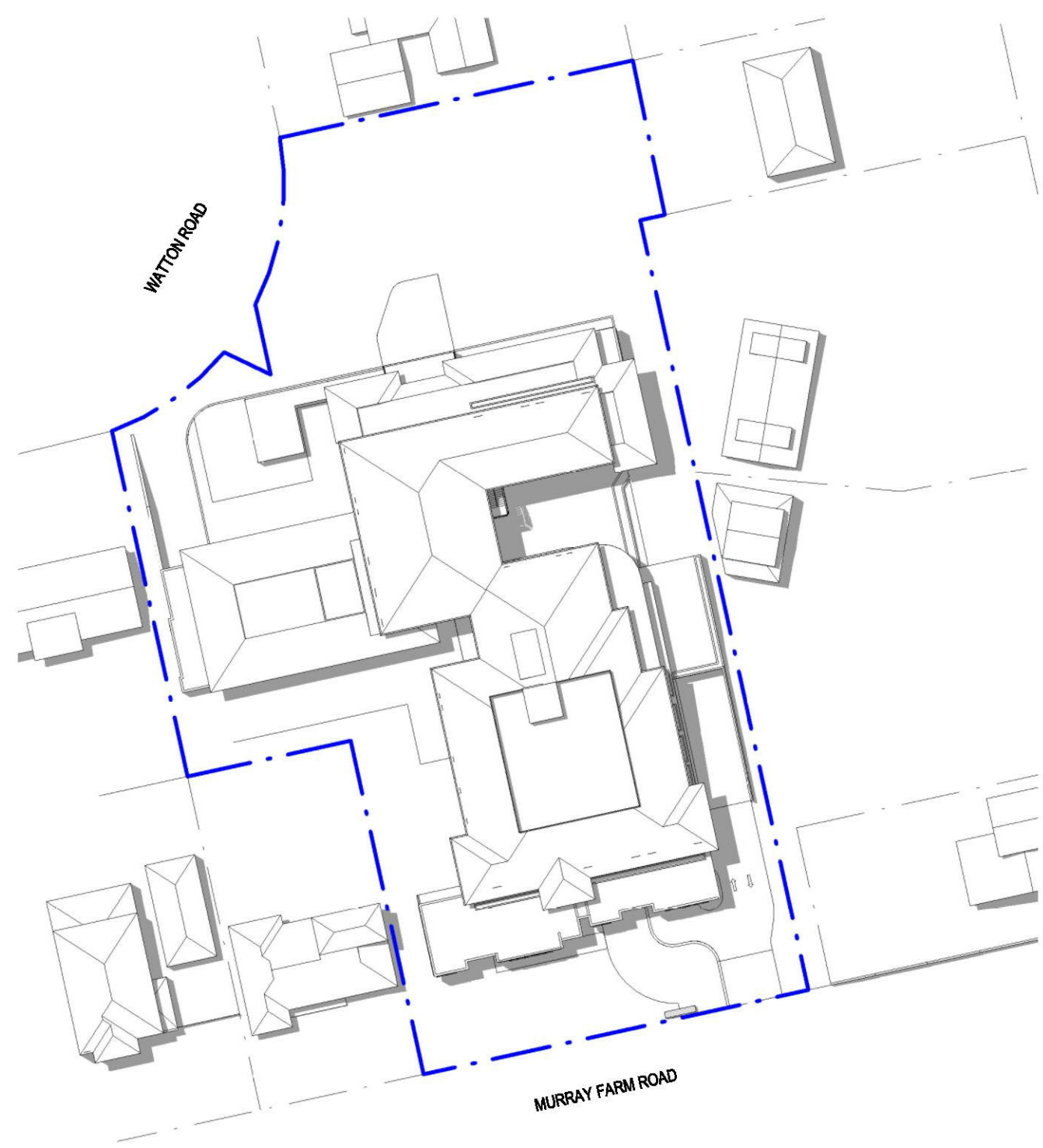
2 SHADOW DIAGRAM DECEMBER 21 @ 10AM



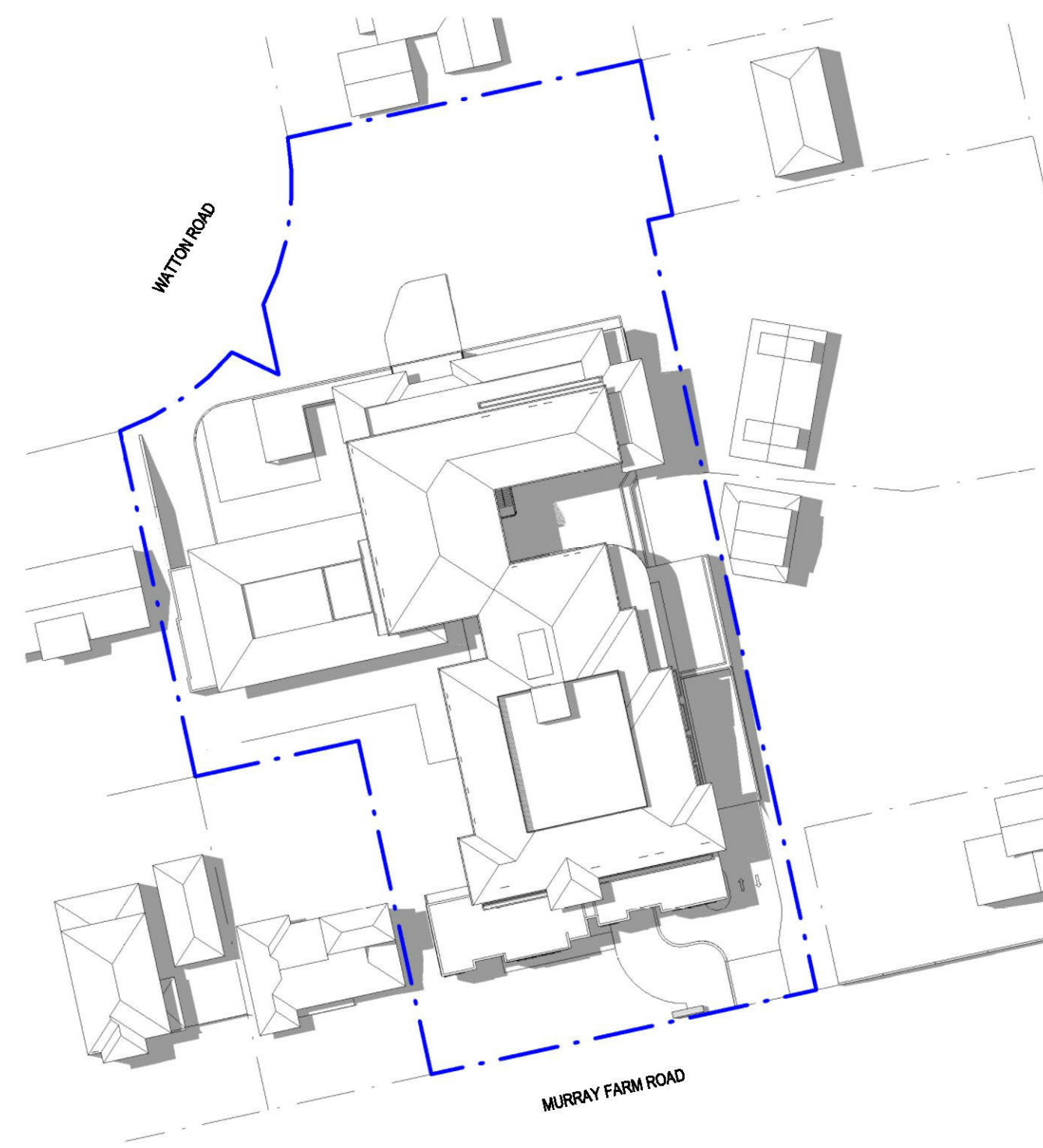
3 SHADOW DIAGRAM DECEMBER 21 @ 11AM



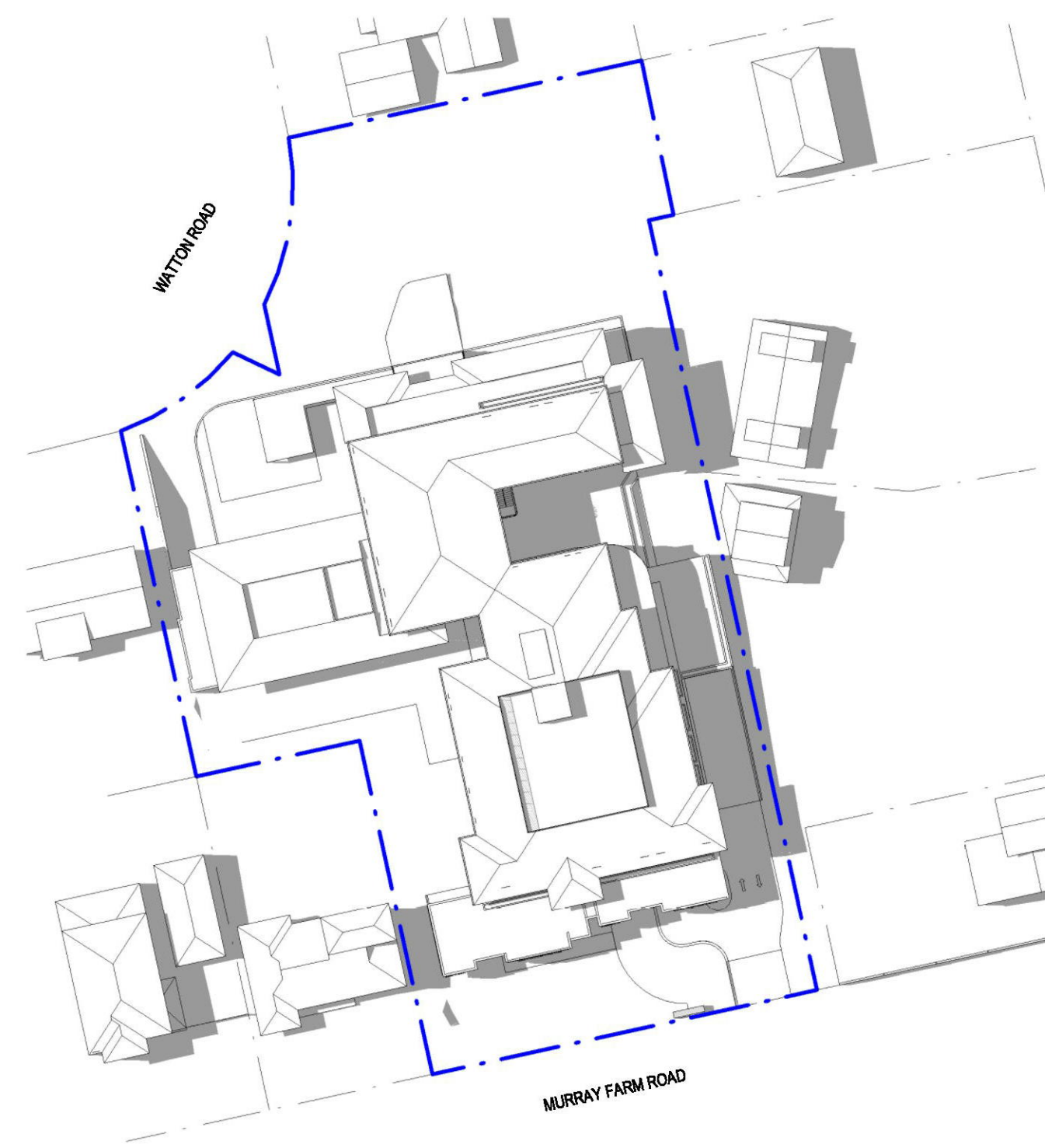
4 SHADOW DIAGRAM DECEMBER 21 @ 12PM



5 SHADOW DIAGRAM DECEMBER 21 @ 1PM



6 SHADOW DIAGRAM DECEMBER 21 @ 2PM



7 SHADOW DIAGRAM DECEMBER 21 @ 3PM

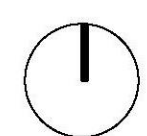
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**DEVELOPMENT CONTROL PLAN - THE HILLS SHIRE COUNCIL
PART B SECTION 2**

- **49 Murray Farm Rd: Complies** – No impact from our development
- **11 Watton Rd: Complies** – No impact from our development
- **21 Watton Rd – Complies** – No impact from our development
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- **63 Oakes Rd – Complies** - Private open space receives direct sunlight throughout the entire day, only minor overshadowing at 3pm.
- **41A Murray Farm Rd** – Private open space receives direct sunlight throughout the entire day, only minor overshadowing along boundary at 3pm.
- **39 Murray Farm Rd** - No impact from our development

The private open spaces of **ALL** adjacent dwellings receive more than the minimum 4 hours of direct sunlight to at least 50% of their private open space between 9am-3pm on the 21 December as per the HDCP 2012.

0 6 12 18 30 60 m



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SHADOW DIAGRAMS - SUMMER SOLSTICE

1 : 750 @ A1

DA4-03

23.09.2019

rev. A

NOT FOR CONSTRUCTION

TIMBER SOOFT TO UNDER SIDE OF ROOF

RF _____
DARK GREY COLORBOND ROOFING
FIELDERS PROMINENCE PROFILE OR EQUIVALENT

MC _____
DARK GREY COLORBOND CLADDING
FIELDERS BOULEVARD PROFILE OR EQUIVALENT

BAL _____
BRASS LOOK AND OILIZED BALUSTRADE
MONACO STONE OR EQUIVALENT

BLACK PEBBLES

PC-01 _____
DARK GREY POWDER COAT OR SIMILAR. DULUX OR
EQUIVALENT. ALL GLAZING SUITE MULLIONS / FRAMES
TO MATCH PC-01

TB TIMBER BATTENS

GL _____
FIXED AND OPERABLE GLAZING PANELS

PC-01 —————
DARK GREY POWDER COAT OR SIMILAR. DULUX OR
EQUIVALENT. ALL GLAZING SUITE MULLIONS / FRAMES
TO MATCH PC-01

FB _____
FACE BRICK SIMILAR TO AUSTRAL SAN SELMO RECLAIMED

METAL PLATE EXTERIOR WINDOW TRIM

1 SOUTHERN FACADE DETAIL

RF _____
DARK GREY COLORBOND ROOFING
FIELDERS PROMINENCE PROFILE OR EQUIVALENT

MC _____
DARK GREY COLORBOND CLADDING
FIELDERS BOULEVARD PROFILE OR EQUIVALENT


PC-03 _____
WHITE WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT

GL _____
FIXED AND OPERABLE GLAZING PANELS


PC-01 —————
DARK GREY POWDER COAT OR SIMILAR. DULUX OR
EQUIVALENT. ALL GLAZING SUITE MULLIONS / FRAMES
TO MATCH PC-01

PC-02 _____
YELLOW WINDOW BOX EXTRUSIONS
DULUX POWDERCOAT OR EQUIVALENT

FB _____
FACE BRICK SIMILAR TO AUSTRAL SAN SELMO RECLAIMED

_____ LVL 2 
RL 101.800 m

____ LVL 1
RL 98.400 m

GND FLOOR 
RL 94.700 m

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JAPARA HEALTHCARE

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TA # 18.0119.12

DETAILED FACADE SECTIONS

1:20 @ A1

23.09.2019

DA5-01

rev. A



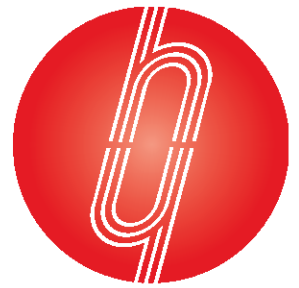
JAPARA
HEALTHCARE











henry&hymas

7 August 2019

Our Ref: 16833-C1/af

HB+B Property
Level 3 -Building 1, 75 O'Riordan Street
Alexandria 2015

Attention: Mr. Danny Kataieh

Dear Sir,

RE: PROPOSED AGED CARE DEVELOPMENT

**SUBJECT PREMISES: 45-47 MURRAY FARM ROAD, CARLINGFORD, NSW
DESIGN STATEMENT**

Pursuant to the provisions of the **Clause A2.2 of the Building Code of Australia**, I hereby certify that the above design is in accordance with best engineering practice and in our opinion meets the requirements of the Environmental Planning and Assessment Regulations of the Building Code of Australia and relevant Australian Standards. In particular, the design is in accordance with the following:

- Clause 26 of the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

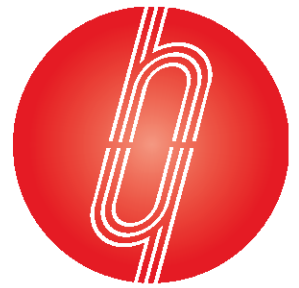
I am an appropriately qualified and experienced person in this field and as such have the capacity to certify on behalf of Henry & Hymas Consulting Engineers Pty Ltd that the design and performance of the design systems, in our opinion comply with the above and are detailed on the following drawings:

16833_DA_EX000 COVER SHEET, DRAWING SCHEDULE, NOTES AND LOCALITY SKETCH
16833_DA_EX100 PUBLIC DOMAIN - DETAIL PLAN
16833_DA_EX120 ROAD LONGITUDINAL SECTIONS
16833_DA_EX130 ROAD CROSS SECTIONS - OAKES ROAD
16833_DA_EX131 ROAD CROSS SECTIONS - MURRAY FARM ROAD

H & H Consulting Engineers Pty Ltd possesses indemnity insurance to the satisfaction of the Client. However, this certificate shall not be construed in any way to relieve any other party of their responsibilities.

Designer: Andrew Francis
Qualifications: B.E. (Civil)
Employer: H & H Consulting Engineers Pty Ltd
Address: Level 5, 79 Victoria Ave CHATSWOOD
Business Tel. No: 9417 8400 Fax No: 9417 8337



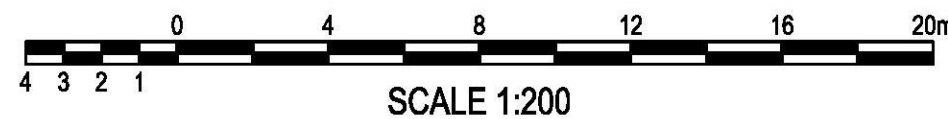


henry&hymas

Yours faithfully,


ANDREW FRANCIS

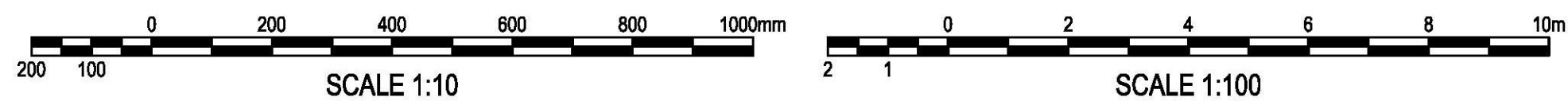
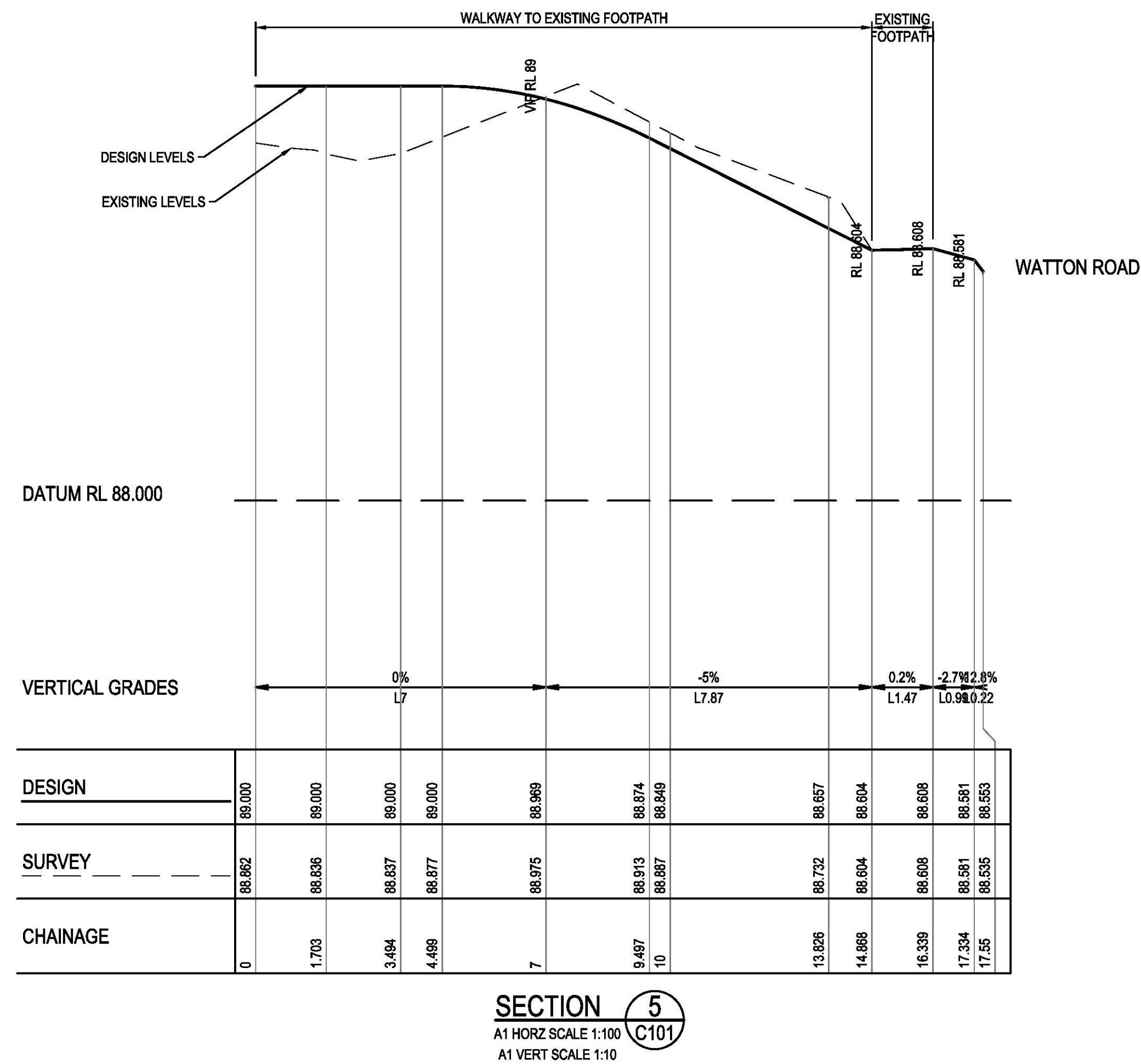
For, and on behalf of,
H & H Consulting Engineers Pty Ltd





03	ISSUED FOR DA ONLY	JK	IA	10.09.2019					
02	ISSUED FOR DA ONLY	JK	IA	05.09.2019					
01	ISSUED FOR DA ONLY	MC	IA	22.08.2019					
REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE

Client	HB + B PROPERTY
Architect	THOMSON ADSETT
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<p>Level 5, 78 Victoria Avenue, Cherrywood NSW 2067</p> <p>Telephone +61 2 9417 8400 +61 2 9417 8337 Email email@hcnconsult.com.au Web www.henryandhymas.com.au</p>	 <p>henry&hymas</p>	<p>Project PROPOSED AGED CARE DEVELOPMENT 47 MURRAY FARM ROAD, CARLINGFORD NSW</p> <p>Title SITE SECTIONS SHEET 1 OF 2</p>	<p>Drawn J.Knight Checked A.Francis</p> <p>Drawing number 16833_DA_C110</p>	<p>Designed I.Ahmed Approved A.Francis</p>	<p>Date NOV 2018 Scale 1:200 @ A1</p>	<p>Revision 03</p>
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FOR DA ONLY

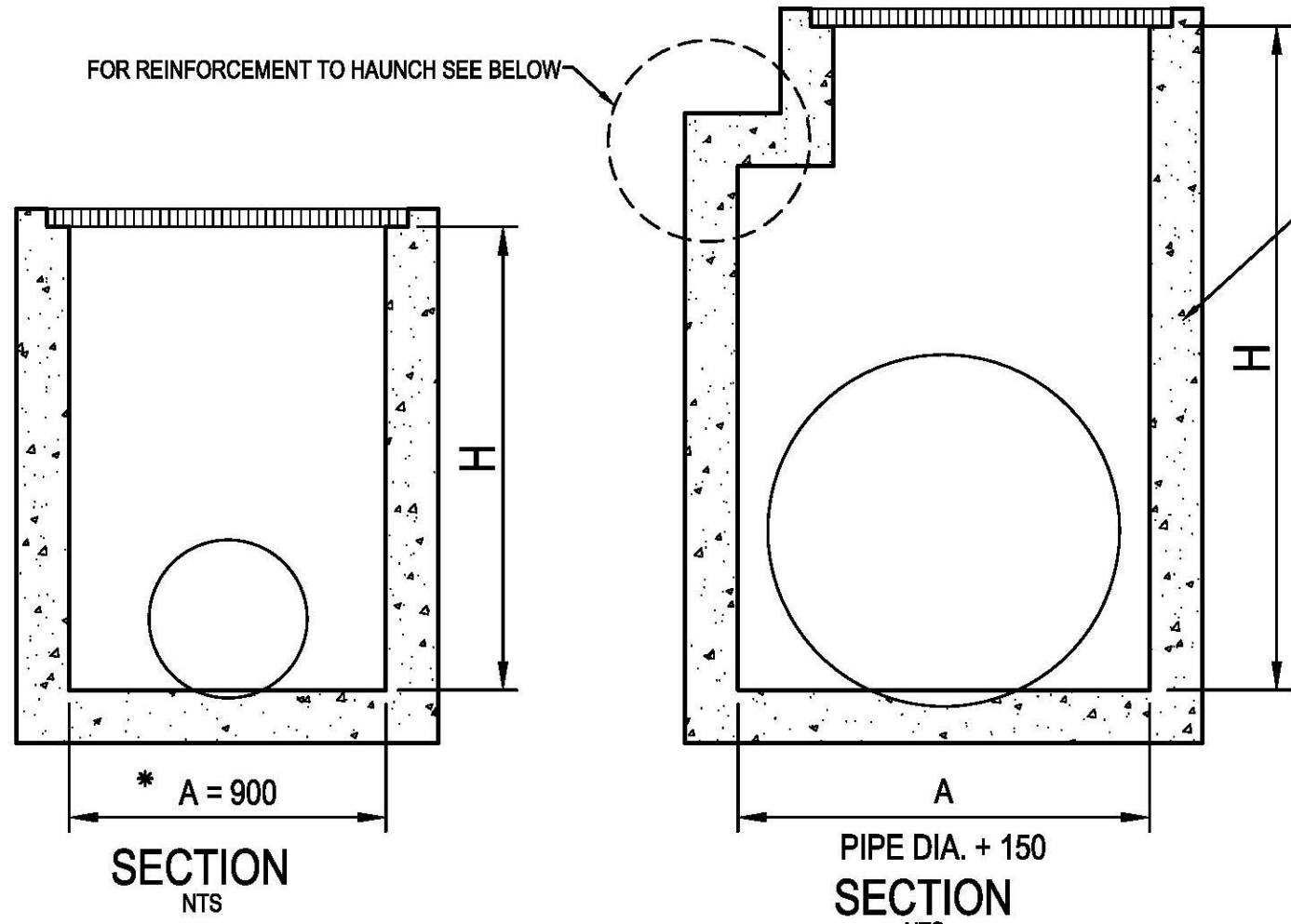
										Client	HB + B PROPERTY		<div>Level 5, 79 Victoria Avenue Chatswood NSW 2067</div> <div></div>	<div>Telephone +61 2 9417 8400</div> <div>Facsimile +61 2 9417 8337</div> <div>Email email@hhoonsult.com.au</div> <div>Web www.henryandhymas.com.au</div>	<div></div> <div>henry&hymas</div>	Project PROPOSED AGED CARE DEVELOPMENT 47 MURRAY FARM ROAD, CARLINGFORD NSW			Drawn J.Knight	Designed I.Ahmed	Date NOV 2018																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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TYPICAL PIT CHAMBER SIZES

IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT PIT CHAMBER SIZE WITH REGARDS TO PIPE SIZE, DEPTH TO INVERT AND SKEW ANGLE. REFER SKETCHES BELOW.

- SELECT PIT CHAMBER USING THE STEPS BELOW:
- SELECT PIT CHAMBER SIZE DEPENDING ON THE PIPE DIAMETERS.
- CHECK PIT CHAMBER SIZE TO SATISFY DEPTH TO INVERT REQUIREMENTS.
- CHECK PIT CHAMBER DIMENSIONS TO SATISFY THE SKEW ANGLE IN THE TABLE.

FOR B = 600mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 225mm
FOR B = 900mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 375mm
FOR B = 1200mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 600mm
FOR B = 1500mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 825mm
FOR B = 1900mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 1050mm

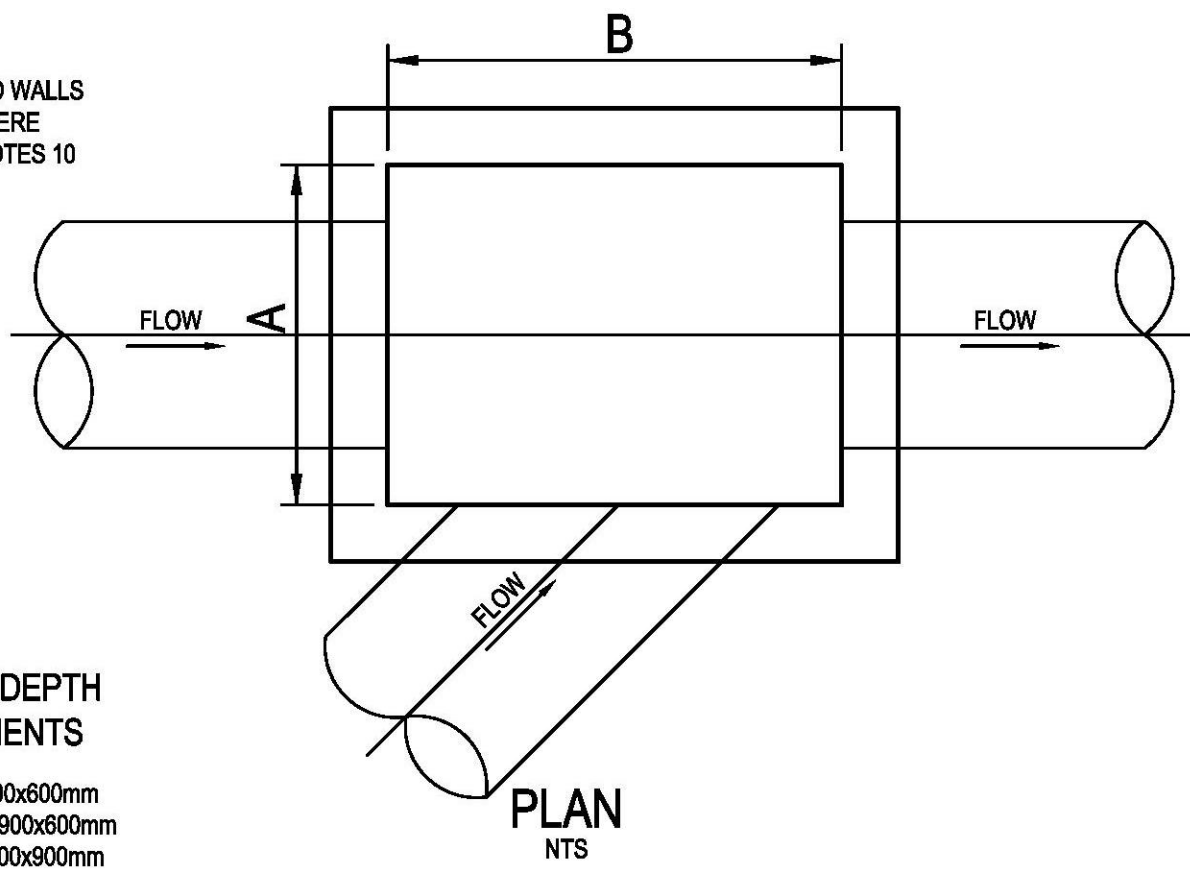


*A = 600 FOR PIPES UP TO 375 DIA.

- PIT CHAMBER DIMENSIONS FOR PIPES UP TO 600 DIA.

- PIT SIZE & DEPTH REQUIREMENTS

H = 0-900mm - AxB = 600x600mm
H = 900-1200mm - AxB = 900x600mm
H = >1200mm - AxB = 900x900mm



- PIT CHAMBER FOR SIDE ENTRY ON SKEW

TABLE 1	
SIEVE SIZE (MM)	WEIGHT PASING (%)
75.0	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

TABLE 2	
SIEVE SIZE (MM)	WEIGHT PASING (%)
19.0	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0

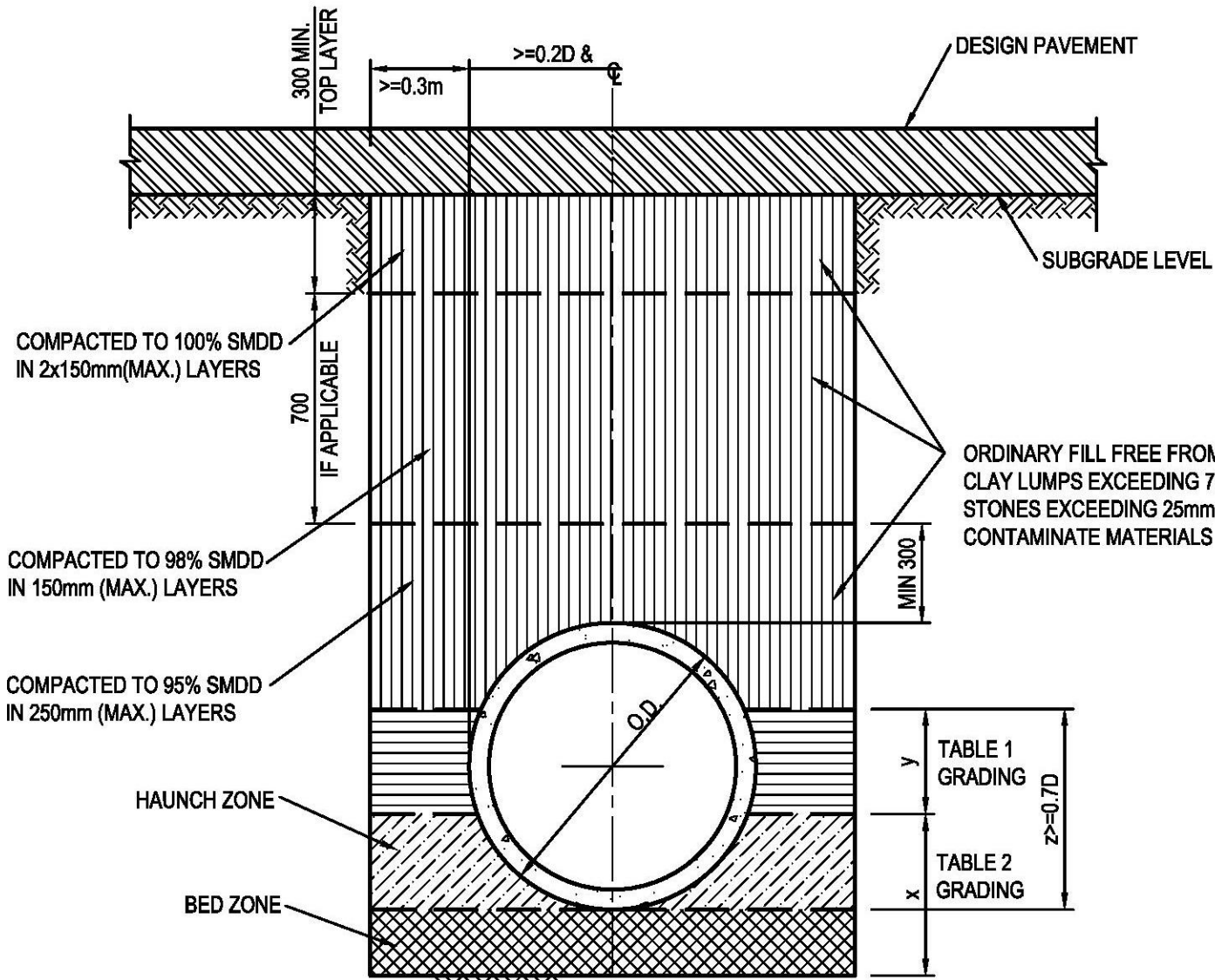
TABLE 3				
SUPPORT TYPE	BED ZONE X	HAUNCH ZONE Y	BED AND HAUNCH ZONES COMPACTION	MAX BEDDING FACTOR
HS1		0.1D	50	2.0
HS2	100 IF D<=1500, OR 150 IF D>=1500	0.3D	60	2.5
HS3		0.3D	70	4.0

DRAINAGE NOTES:

- ALL STORMWATER WORK TO COMPLY WITH AS 3600 PART 3.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 600mm ON ALL PIPES.
- PROTECTION OF PIPES DUE TO LOADS EXCEEDING W7 WHEEL LOAD SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- BEDDING TYPE SHALL BE TYPE H2 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
- MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
- NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
- FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRGS TAKE PRECEDENCE OVER DESIGN DRAINAGE SURFACE LEVELS.
- ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS1260. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDIES FRC PIPE MAY BE USED IN LIEU OF RCP IF DESIRED IN GROUND. ALL AERIAL PIPES TO BE PVC CLASS SH.
- ALL PITS IN NON TRAFFICABLE AREAS TO BE PREFABRICATED POLYESTER CONCRETE "POLYCRETE" WITH "LIGHT DUTY" CLASS B GALV. MILD STEEL GRATING AND FRAME. ALL PITS IN TRAFFICABLE AREAS (CLASS "D" LOADING MAX) TO HAVE 150mm THICK CONCRETE WALLS AND BASE CAST IN-SITU $f_{cs}=32$ MPa, REINFORCED WITH N12-200 BOTH LOADING WAYS CENTRALLY PLACE U.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALV.MILD STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE, MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND TO BE IN ACCORDANCE WITH AS3600.3 AND AS3696.
- PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - PIPE SIZE
 - DEPTH TO INVERT
 - SKEW ANGLE
REFER TYPICAL PIT CHAMBER DETAILS BELOW
IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEP IRONS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
- FOR PIPE SIZES GREATER THAN Ø300mm, PIT FLOOR IS TO BE BENCH TO FACILITATE FLOW.
- GALVANISED STEP IRONS SHALL BE PROVIDED AT 300 CTS FOR PITS HAVING A DEPTH EXCEEDING 1200mm. SUBSOIL DRAINAGE PIPE SHALL BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES. (MINIMUM LENGTH 3m).
- ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED PVC IN A FILTER SOCK, UNO, WITH 3m INSTALLED UPSTREAM OF ALL PITS.
- ALL PIPEWORK SHALL HAVE MINIMUM DIAMETER 100.
- MINIMUM GRADE FOR ROOFWATER DRAINAGE LINES SHALL BE 1%.
- ALL PIPE JUNCTIONS AND TAPER UP TO AND INCLUDING 300 DIA. SHALL BE VIA PURPOSE MADE FITTINGS.
- ALL ROOF DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3600, PART 3. TESTING TO BE UNDERTAKEN AND REPORTS PROVIDED TO THE SUPERINTENDENT.
- LOCATION OF THE DIRECT DOWN PIPE CONNECTIONS MAY VARY ON SITE TO SUIT SITE CONDITIONS, WHERE CONNECTION SHOWN ON LONG SECTIONS CHAINAGES ARE INDICATIVE ONLY.
- PITS IN EXCESS OF 1.5 m DEEP TO HAVE WALL AND FLOOR THICKNESS INCREASED TO 200mm. REINFORCED WITH N12@200 CTS CENTRALLY PLACED BOTH WAYS THROUGHOUT U.N.O.ON SEPARATE DESIGN DRAWINGS IN THIS SET. IF DEPTH EXCEEDS 5m CONTACT ENGINEER.
- SUBSOIL DRAINAGE LINES FOR LANDSCAPE AREA NOT SHOWN ON THESE DRAWINGS. REFER TO LANDSCAPING PLANS FOR DETAILS.
- ALL STORMWATER PITS TO HAVE Ø100 uPVC SLOTTED SUBSOIL PIPES CONNECTED TO THEM. THESE SUBSOILS TO EXTEND 3m UPSTREAM OF THE PIT AT A MINIMUM GRADE.

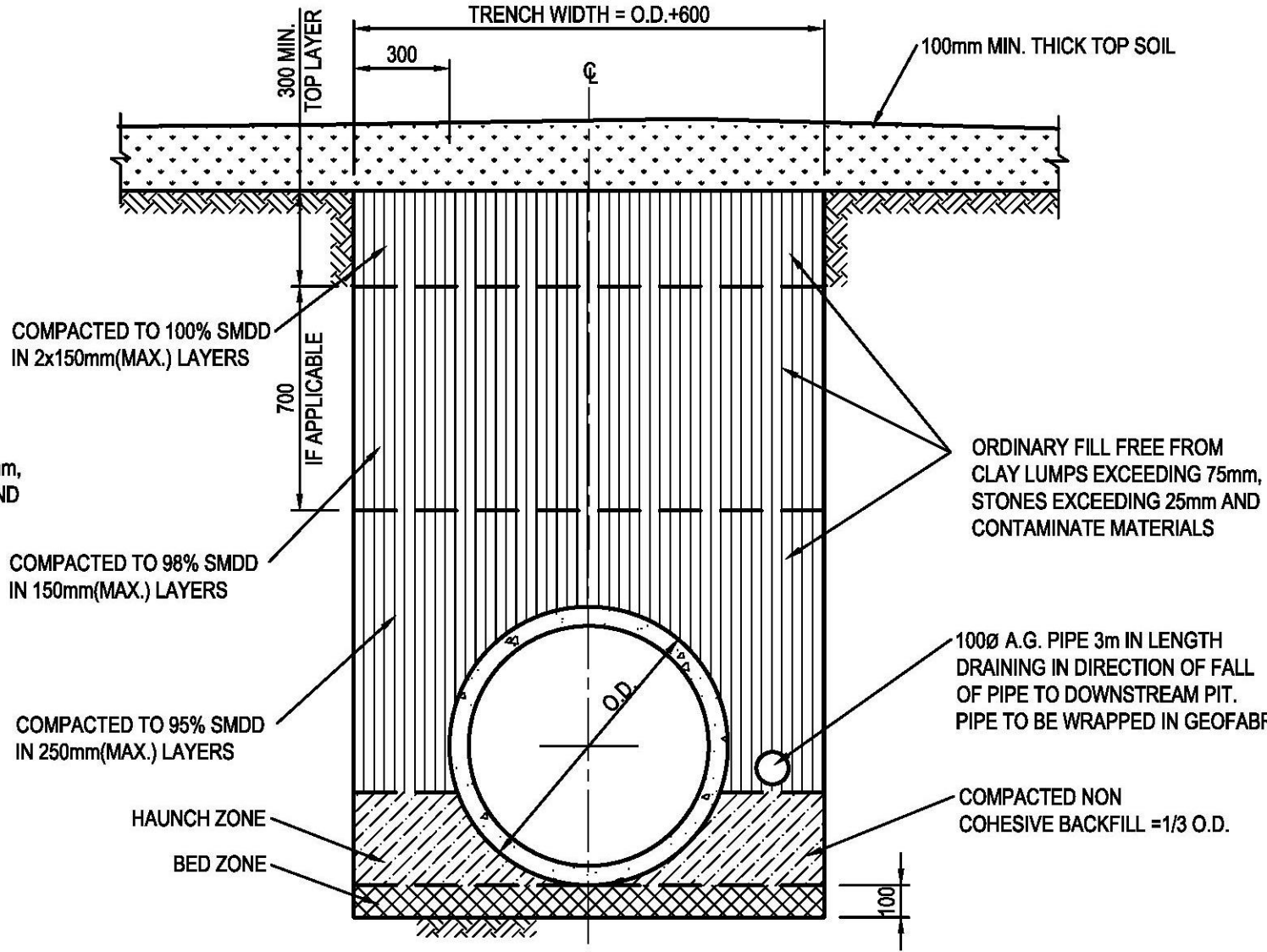
PIT LID SCHEDULE

PIT/STRUCTURE NUMBER	DESCRIPTION
A-1 B-1	JUNCTION PIT WITH 900x900 HINGED LIGHT DUTY CONCRETE LID CLASS 'B' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
A-2	SURFACE INLET PIT WITH HINGED 900x900 LIGHT DUTY GRATED LID CLASS 'B' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
A-4 A-7 F-1 G-1 G-2	SURFACE INLET PIT WITH HINGED 450x450 LIGHT DUTY GRATED LID CLASS 'B' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
A-3 B-2 B-3 D-2 D-4 D-5	JUNCTION PIT WITH 600x600 HINGED LIGHT DUTY CONCRETE LID CLASS 'B' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
A-5 A-6 B-4 D-1 D-3 D-6 D-7 E-1	SURFACE INLET PIT WITH HINGED 600x600 LIGHT DUTY GRATED LID CLASS 'B' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
C-1 C-2 C-3 C-4 C-5	900x900 LIGHT DUTY CONCRETE LID CLASS 'B' WITHIN ON-SITE STORMWATER DETENTION TANK (OSD) IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
F-1	SURFACE INLET PIT WITH HINGED 600x600 HEAVY DUTY GRATED LID CLASS 'D' IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.
BD-1 BD-2	300mm WIDE HEAVY DUTY GRATED DRAIN IN ACCORDANCE WITH CITY OF PARRAMATTA COUNCIL'S SPECIFICATION.

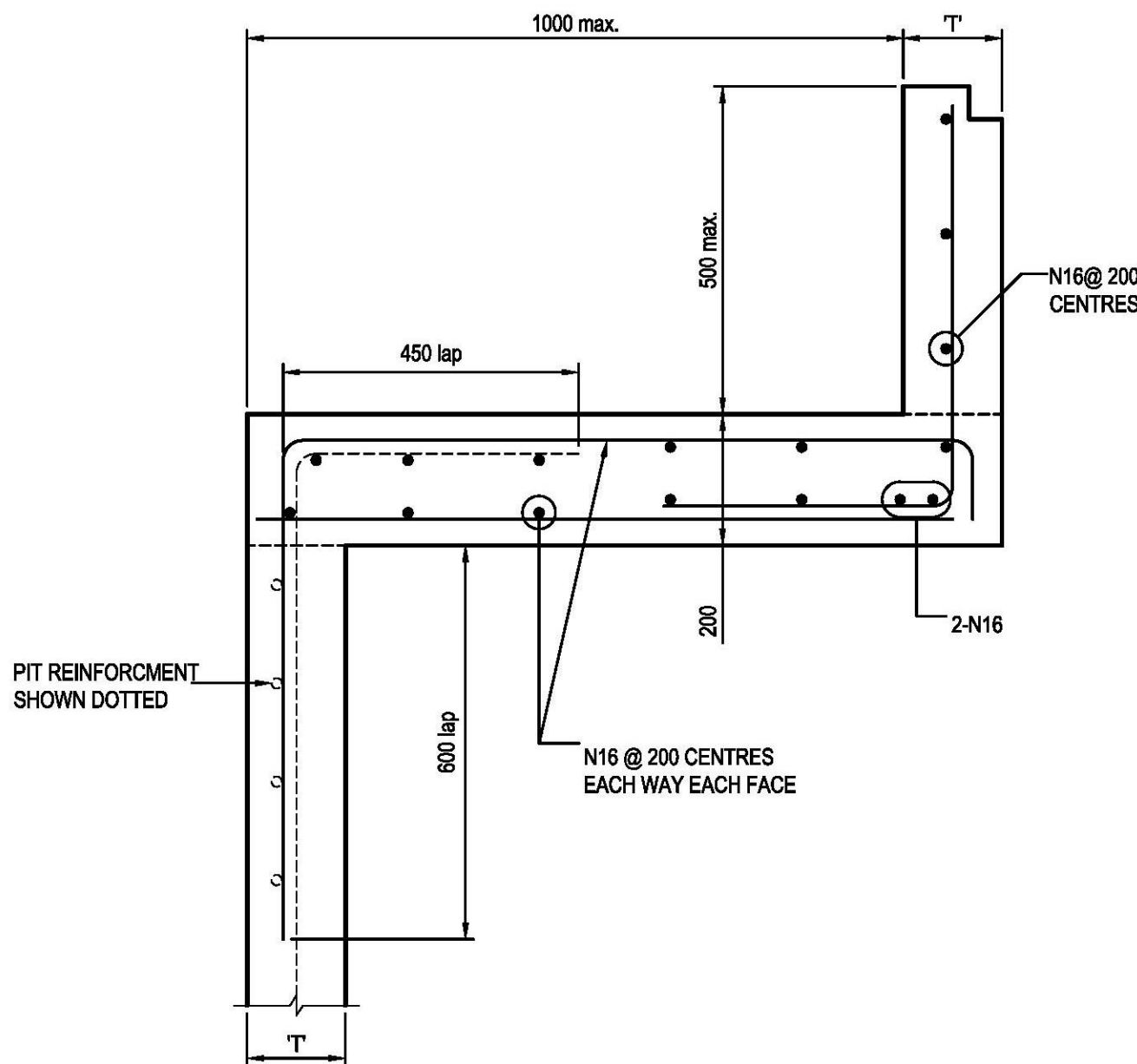


PIPE TRENCH INSTALLATION
BENEATH PAVEMENT
(HS SUPPORT TO BE USED UNDER ROADWAY)
SCALE 1:20

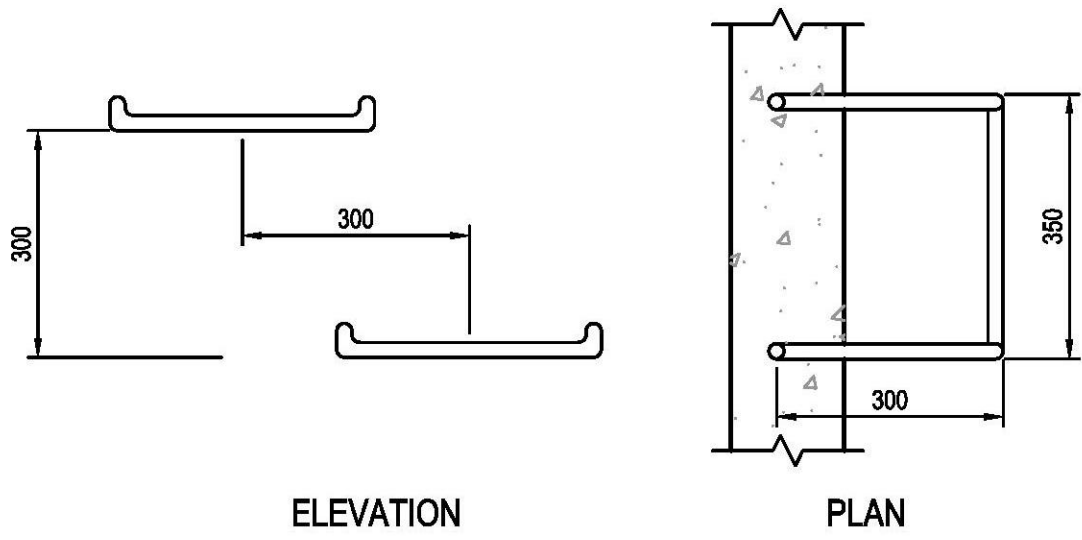
NOTE:
TYPE HS2 TO BE USED AS A
TYPICAL SUPPORT FOR
TRENCHES UNDER ROADWAY
UNLESS SPECIFIED SEPERATELY



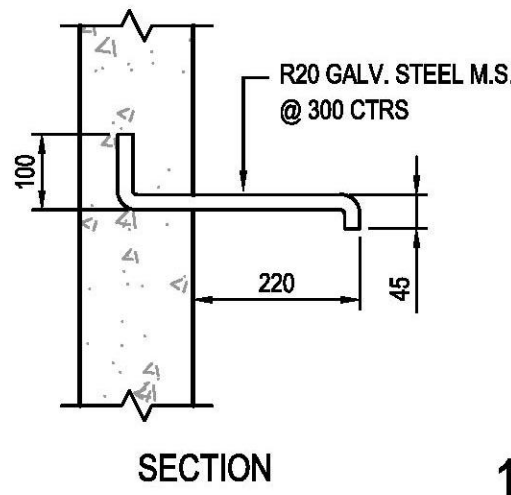
PIPE TRENCH INSTALLATION
IN LANDSCAPE AREAS
(H1 & H2 SUPPORT)
SCALE 1:20



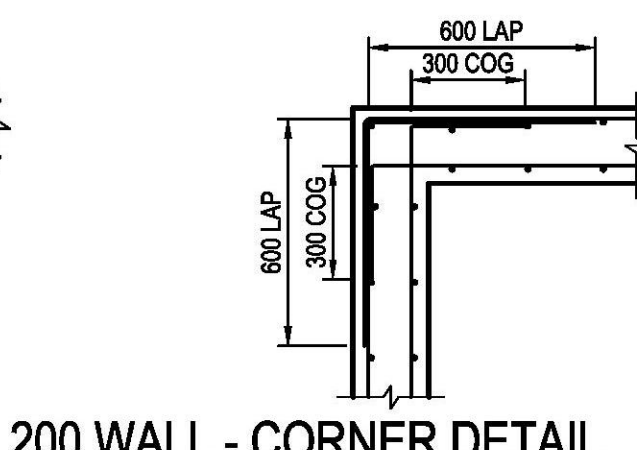
HAUNCH DETAIL -TYPICAL
N.T.S.



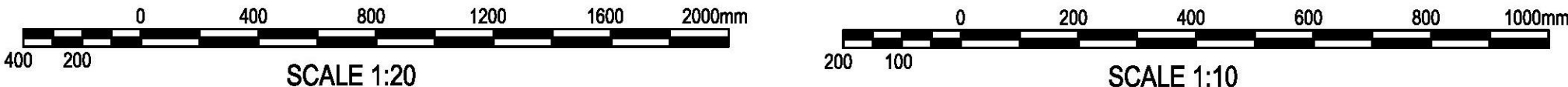
TYPICAL STEP IRON DETAIL
SCALE 1:10



150 WALL - CORNER DETAIL
SCALE 1:20



200 WALL - CORNER DETAIL
SCALE 1:20



FOR DA ONLY

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
03	ISSUED FOR DA ONLY		JK	IA	10.09.2019				
02	ISSUED FOR DA ONLY		MC	IA	22.08.2019				
01	ISSUED FOR DA ONLY		KSR	IA	07.12.2018				

Client	HB + B PROPERTY
Architect	THOMSON ADSETT
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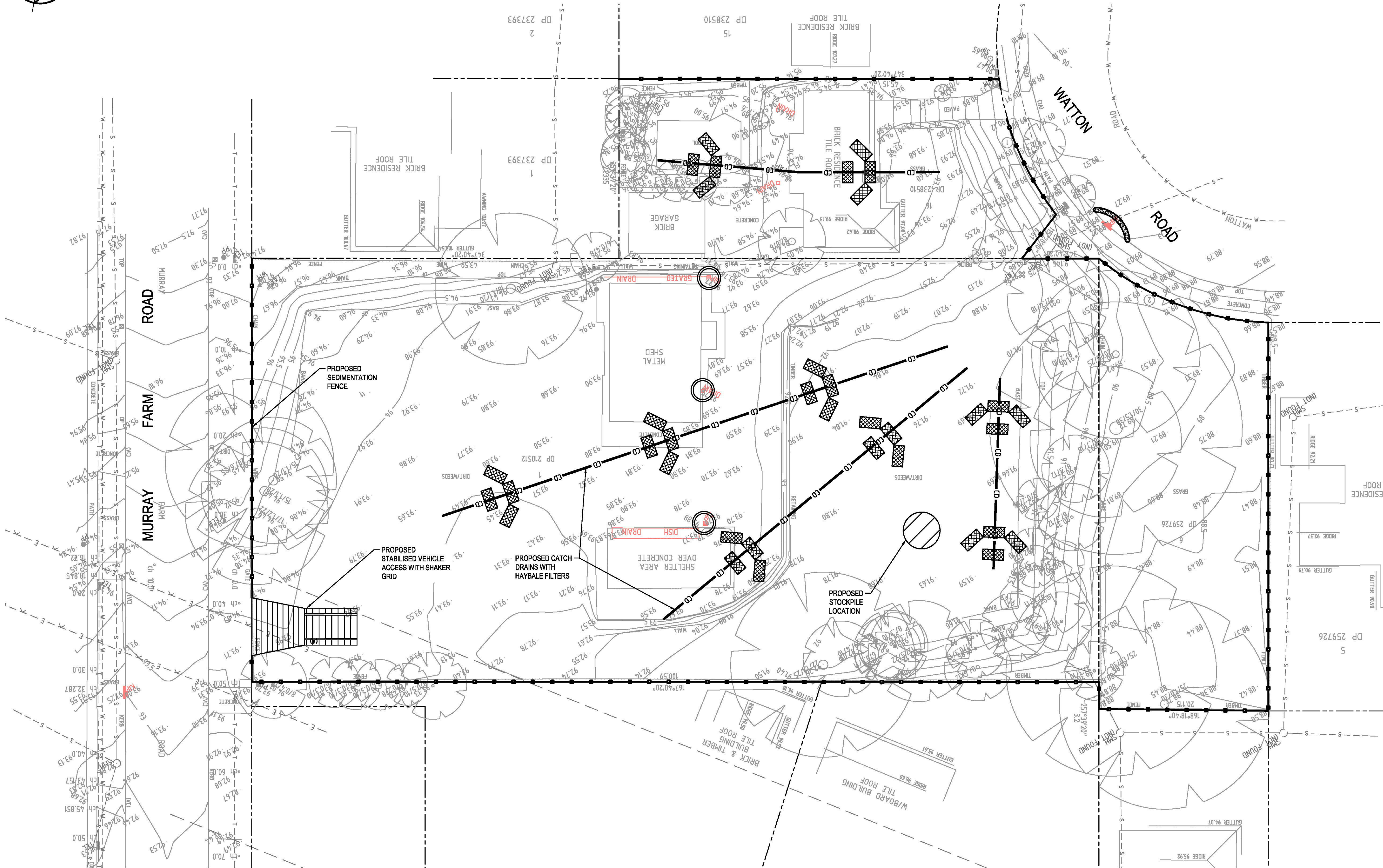
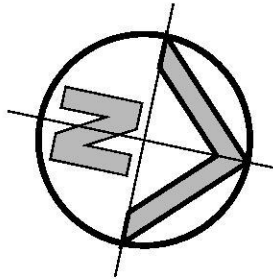


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Project	PROPOSED AGED CARE DEVELOPMENT 47 MURRAY FARM ROAD, CARLINGFORD NSW
Drawn	J.Knight
Checked	A.Francis
Approved	A.Francis
Scale	AS SHOWN @ A1
Drawing number	16833_DA_C200
Revision	03

Designated	L.Ahmed
Date	NOV 2018
AS SHOWN @ A1	



LEGEND

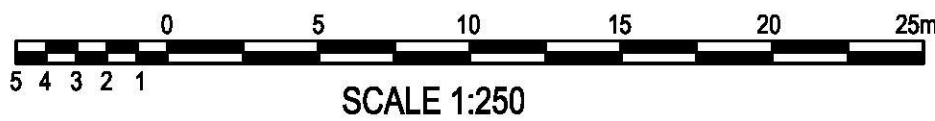
- CD → CATCH DIVERSION DRAIN
- PROPOSED SEDIMENTATION FENCE
- ▢ PROPOSED VEHICLE SHAKER GRID
- ▤ PROPOSED STABILISED SITE ACCESS
- PROPOSED STOCKPILE LOCATION
- ⬢ PROPOSED HAYBALE FILTER
- ⤿ PROPOSED MESH & GRAVEL INLET FILTER
- GEOTEXTILE INLET FILTER

SEDIMENT & EROSION CONTROL NOTES

- ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH RESPECTIVE COUNCIL SPECIFICATIONS AND LANDCOM "SOIL AND CONSTRUCTION" MANUAL.
- ALL PERIMETER & SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN EARTH WORKS AND/OR CLEARING.
- THE SEDIMENT & EROSION CONTROL PLAN MAY REQUIRE FUTURE ADJUSTMENT TO REFLECT CONSTRUCTION STAGING. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO PREPARE THEIR OWN SEDIMENT AND EROSION CONTROL PLAN WHICH SUITS THE DESIGNED CONSTRUCTION STAGING.
- FILTRATION BUFFER ZONES ARE TO BE FENCED OFF AND ACCESS PROHIBITED TO ALL PLANT AND MACHINERY.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS & SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED & MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
- ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING. TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE LOCATION.
- ALL TOPSOIL IS TO BE STOCKPILED ON SITE FOR REUSE (AWAY FROM TREES AND DRAINAGE LINES). MEASURES SHALL BE APPLIED TO PREVENT EROSION OF THE STOCKPILES.
- ALL EARTHWORK AREAS SHALL BE ROLLED EACH EVENING TO SEAL THE EARTHWORKS.
- ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END. ALL CUT AND FILL SLOPES AR TO BE SEEDED AND STRAW MULCHED WITHIN 14 DAYS OF COMPLETION OF FORMATION U.N.O. BY LANDSCAPE ARCHITECTS.
- UPON COMPLETION OF ALL EARTHWORKS OR AS DIRECTED BY COUNCIL SOIL CONSERVATION TREATMENTS SHALL BE APPLIED SO AS TO RENDER AREAS THAT HAVE BEEN DISTURBED, EROSION PROOF WITHIN 14 DAYS.
- EROSION AND SILT PROTECTION MEASURES ARE TO BE MAINTAINED AT ALL TIMES.
- EXCAVATION PLANT TO BE CRANED INTO SITE ONCE SITE ACCESS RAMP IS IMPRACTICAL.

SEDIMENT AND EROSION CONTROL PLAN

SCALE: 1:250



SCALE 1:250

FOR DA ONLY

SURVEY
INFORMATION
SURVEYED BY
LTS LOCKLEY
DATUM: A.H.D.
ORIGIN OF LEVELS: SSM107070 RL108.875

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
02	ISSUED FOR DA ONLY	KR	IA	22.08.2019					
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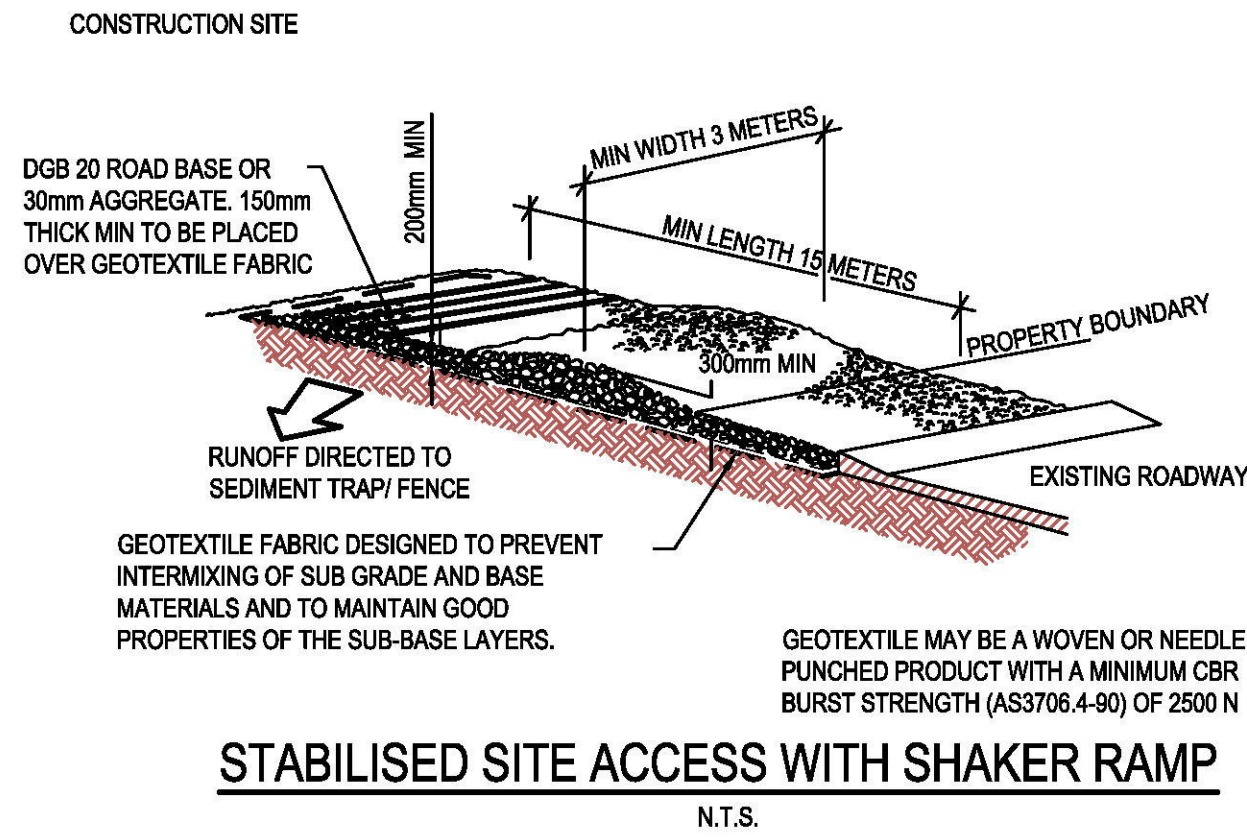
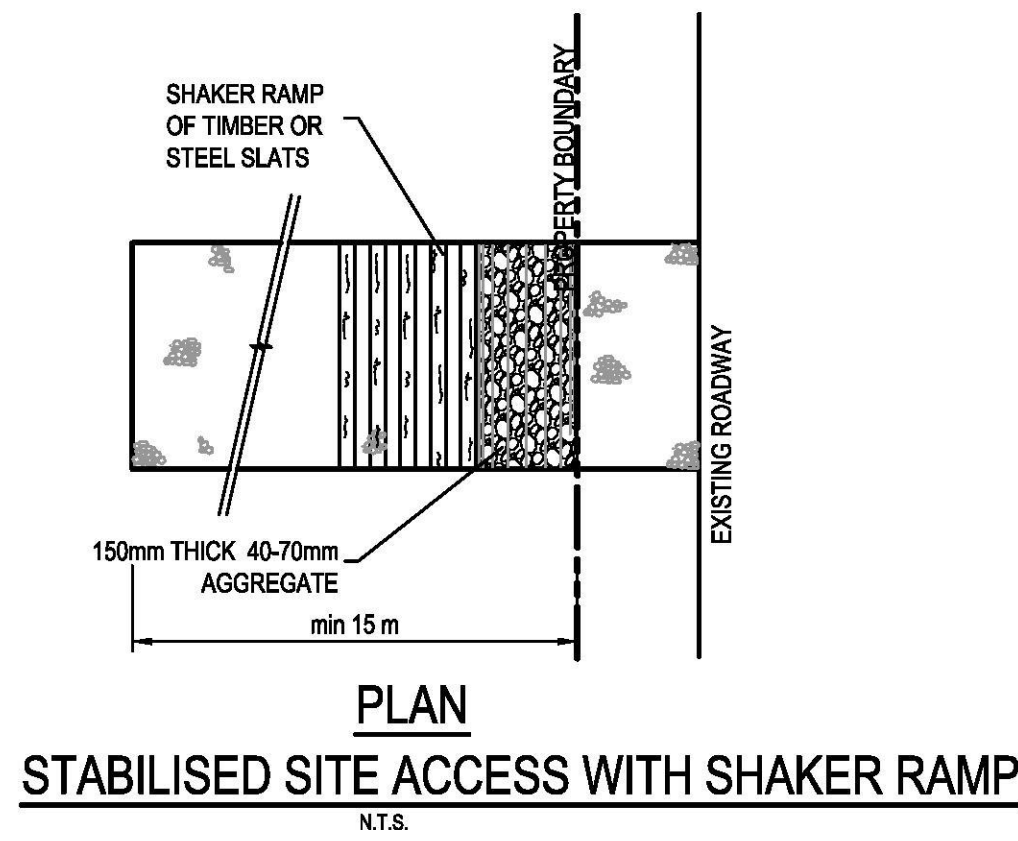


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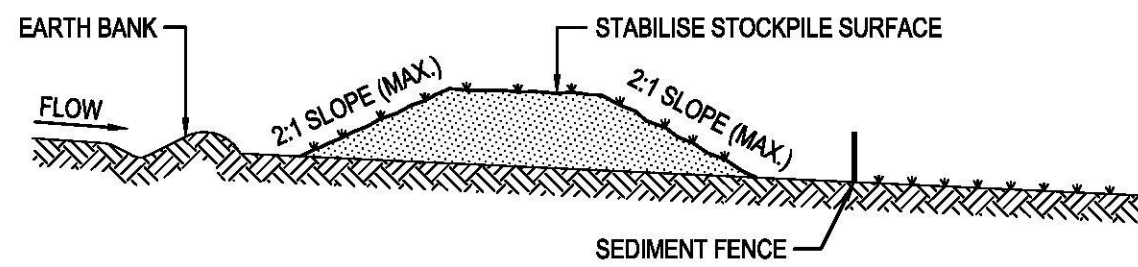
Project
**PROPOSED AGED CARE DEVELOPMENT
47 MURRAY FARM ROAD, CARLINGFORD NSW**
Title
SEDIMENT AND EROSION CONTROL PLAN

Drawn J.Knight	Designed I.Ahmed	Date NOV 2018
Checked A.Francis	Approved A.Francis	Scale 1:250 @ A1
Drawing number 16833_DA_SE01		Revision 02



NOTES:

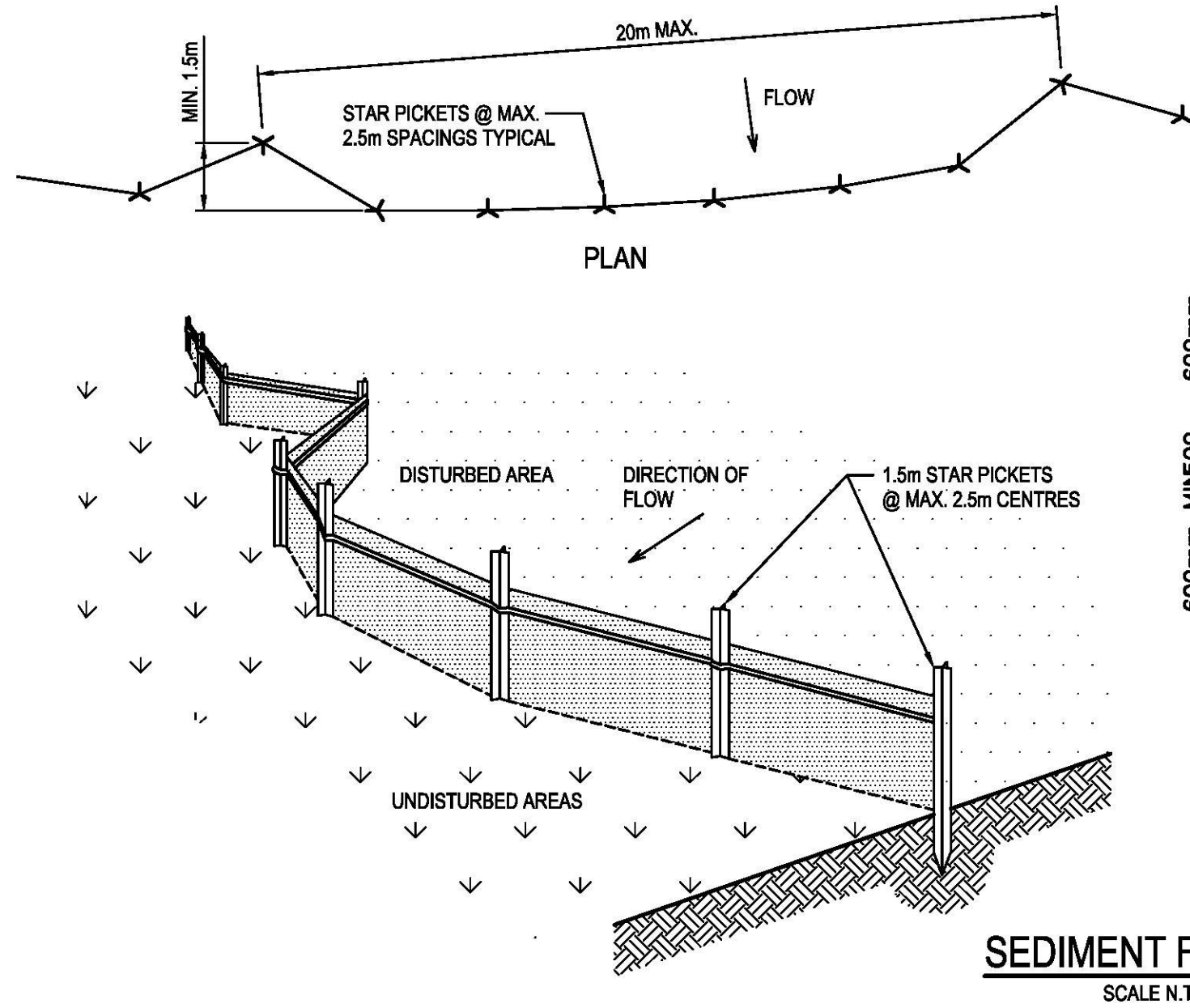
1. THIS DEVICE IS TO BE LOCATED AT ALL EXITS FROM CONSTRUCTION SITE.
2. THIS DEVICE IS TO BE REGULARLY CLEANED OF DEPOSITED MATERIAL SO AS TO MAINTAIN A 50mm DEEP SPACE BETWEEN PLANKS.
3. ANY UNSEALED ROAD BETWEEN THIS DEVICE AND NEAREST ROADWAY IS TO BE TOPPED WITH 100mm THICK 40-70mm SIZE AGGREGATE.
4. ALTERNATIVELY, THREE(3) PRECAST CONCRETE CATTLE GRIDS (AS MANUFACTURED BY *HUMES CONCRETE MAY BE USED. 1, 2 & 3 ABOVE ALSO APPLY.



STOCKPILE CONSTRUCTION NOTES:

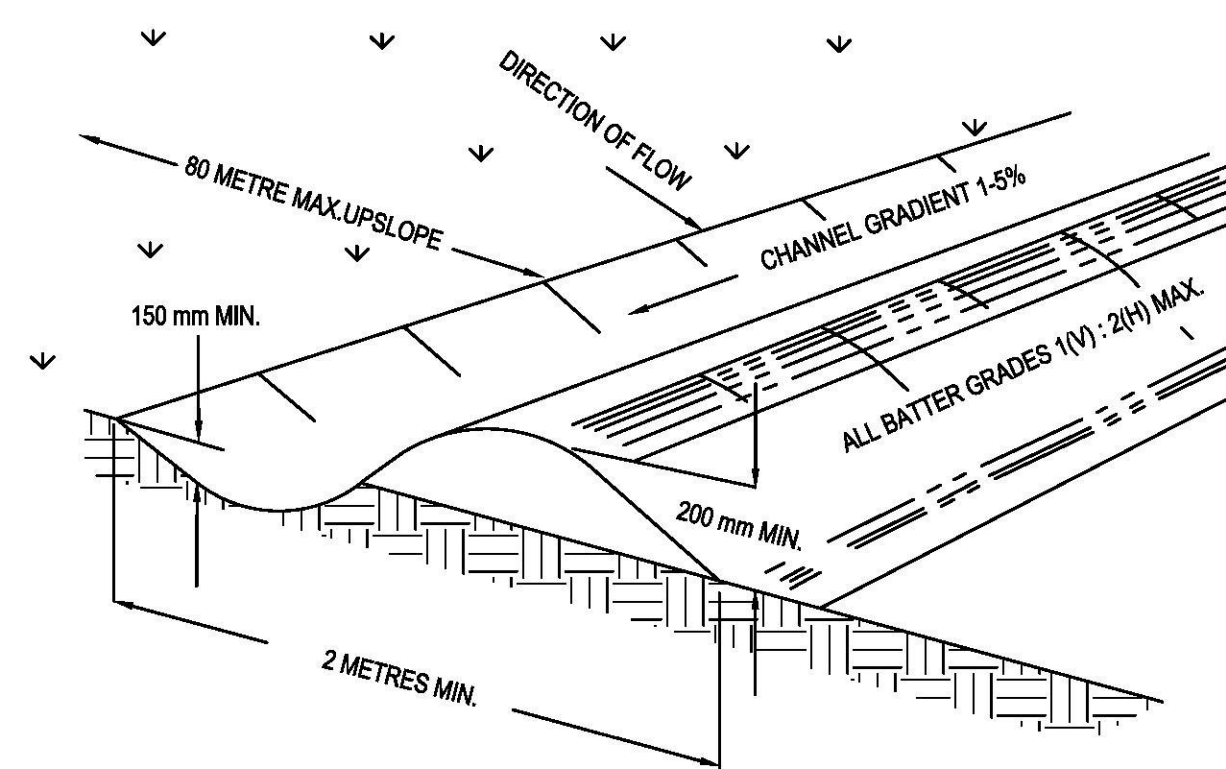
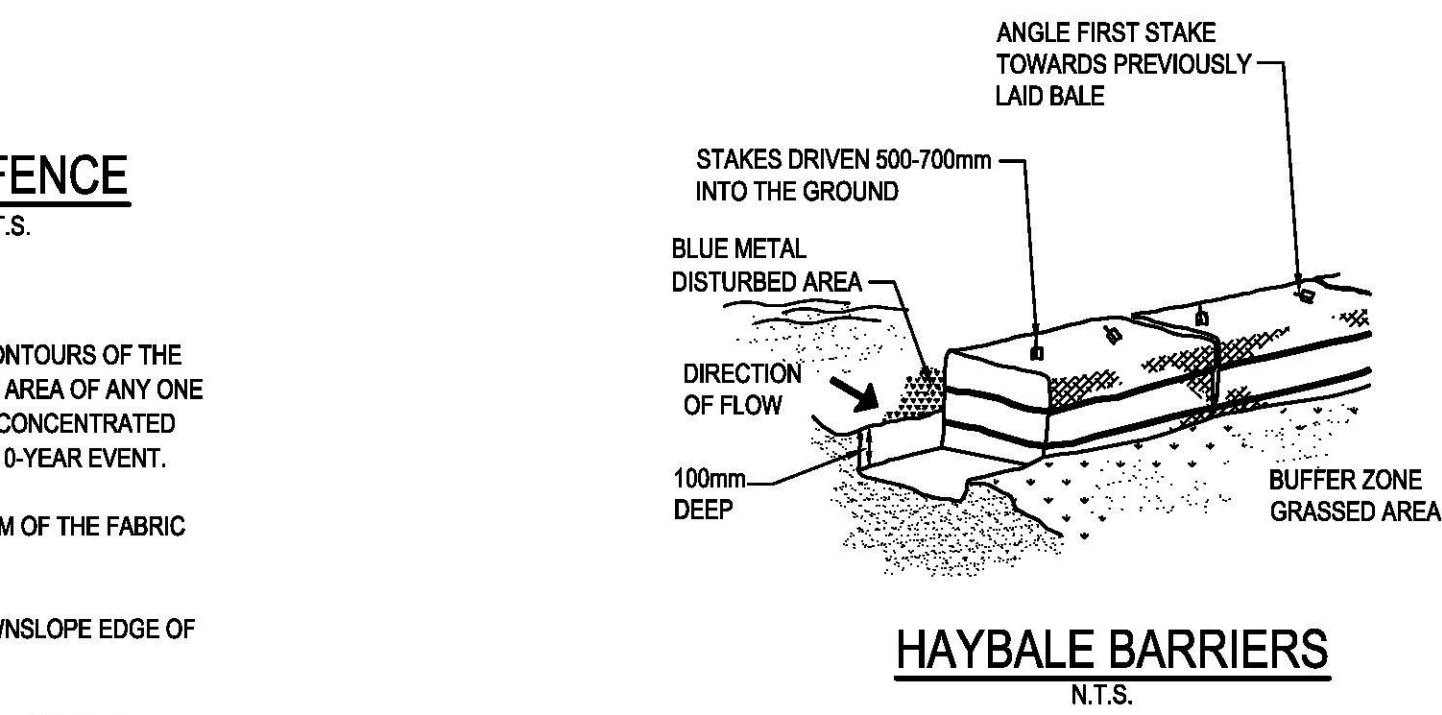
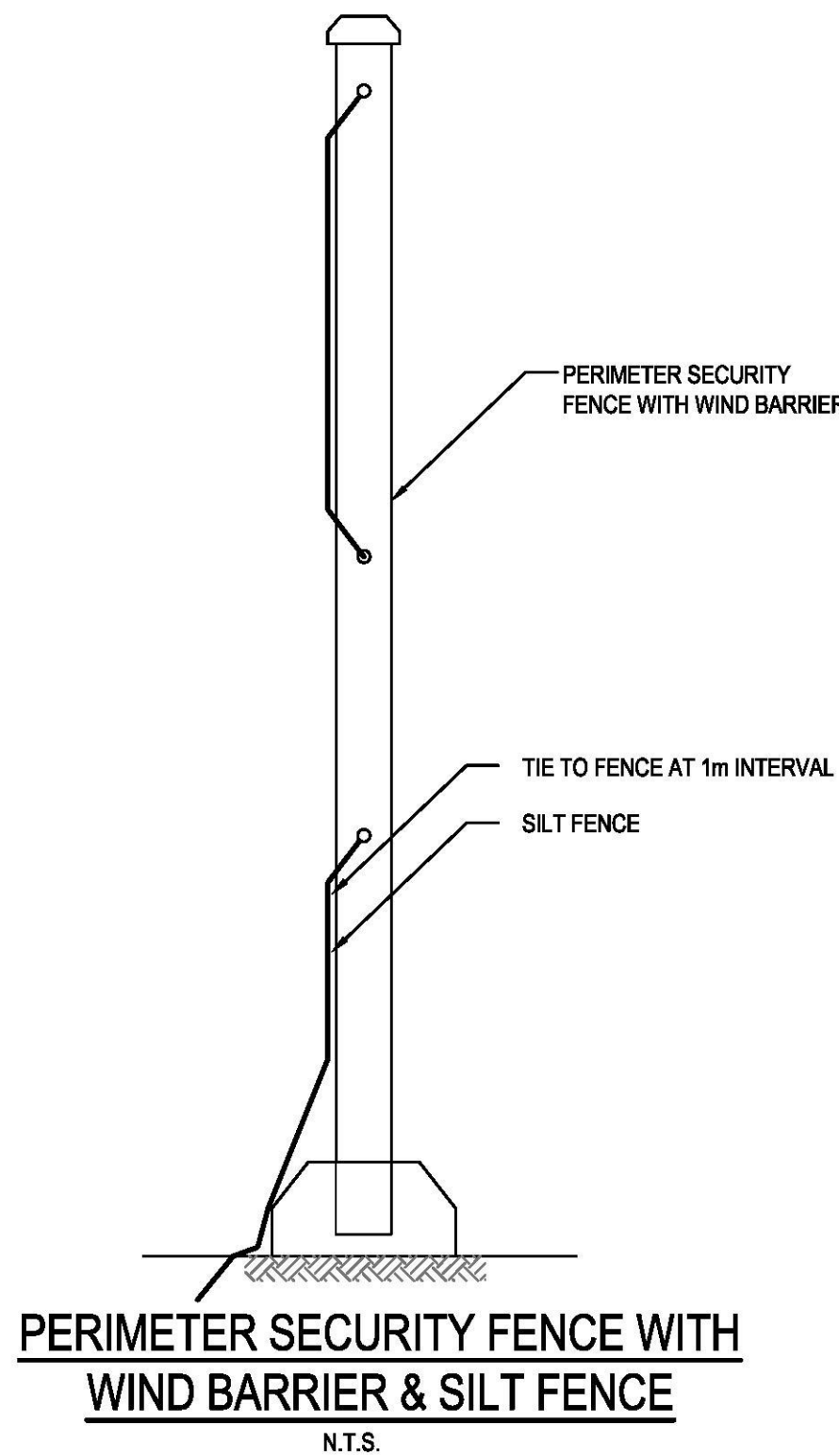
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

STOCKPILES
SCALE N.T.S.



SEDIMENT FENCE CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND @ 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP. 6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

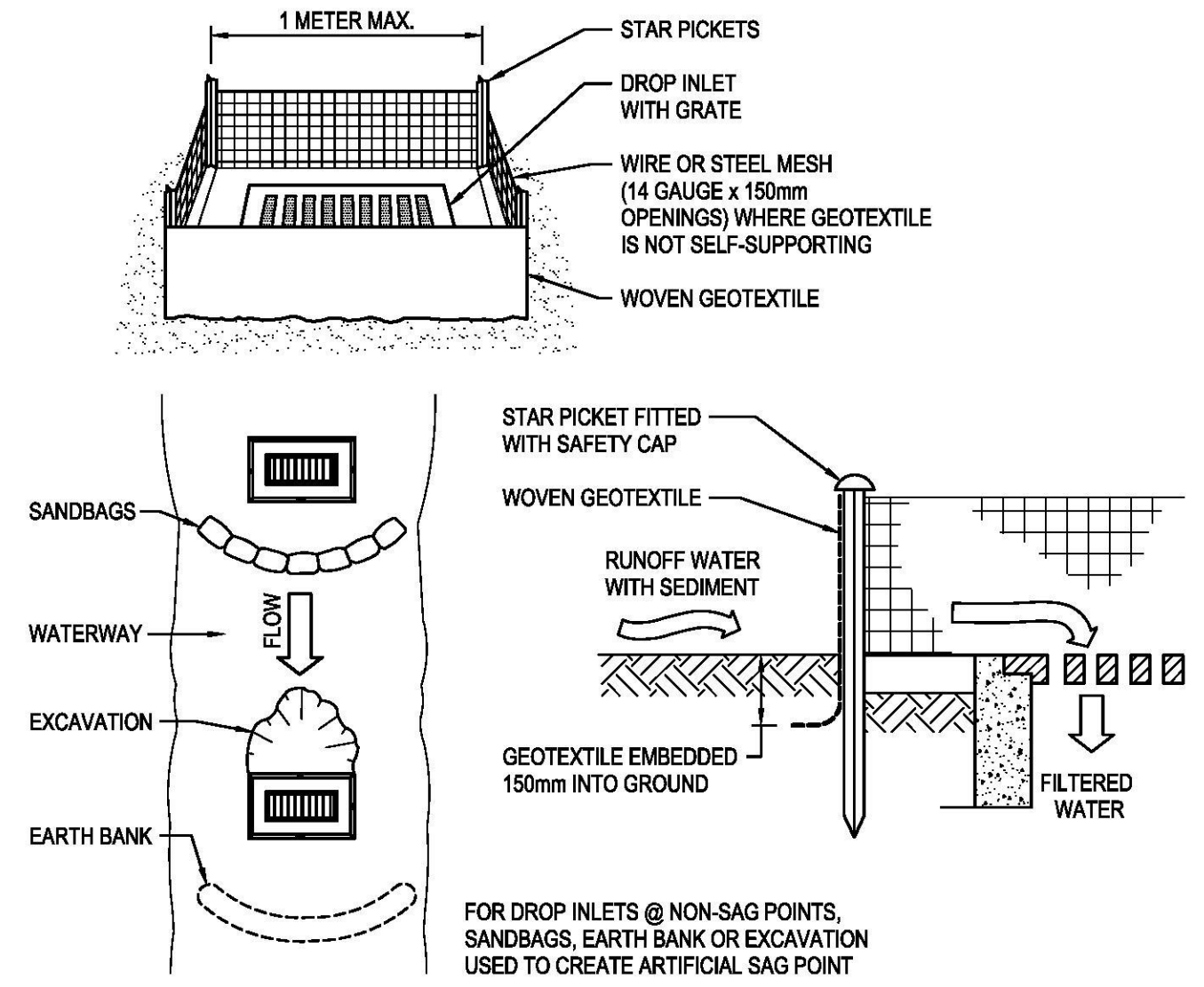


NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAX. UPSLOPE LENGTH IS 80 METRES.

CATCH DRAIN CONSTRUCTION NOTES:

1. CONSTRUCT ALONG GRADIENT AS SPECIFIED.
2. MAXIMUM SPACING BETWEEN BANKS SHALL BE 80 METRES.
3. DRAINS TO BE OF PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED.
4. EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
5. CONSTRUCTION IS OF A TEMPORARY NATURE AND SHALL BE COMPACTED AT THE END A DAYS WORK OR IMMEDIATELY PRIOR RAIN.
6. ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO SEDIMENT BASIN OR SIMILAR.
7. DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR AN UNDISTURBED DISPOSAL AISTE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED.
8. COMPACT WITH A SUITABLE IMPLEMENT IN SITUATIONS WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
9. EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.

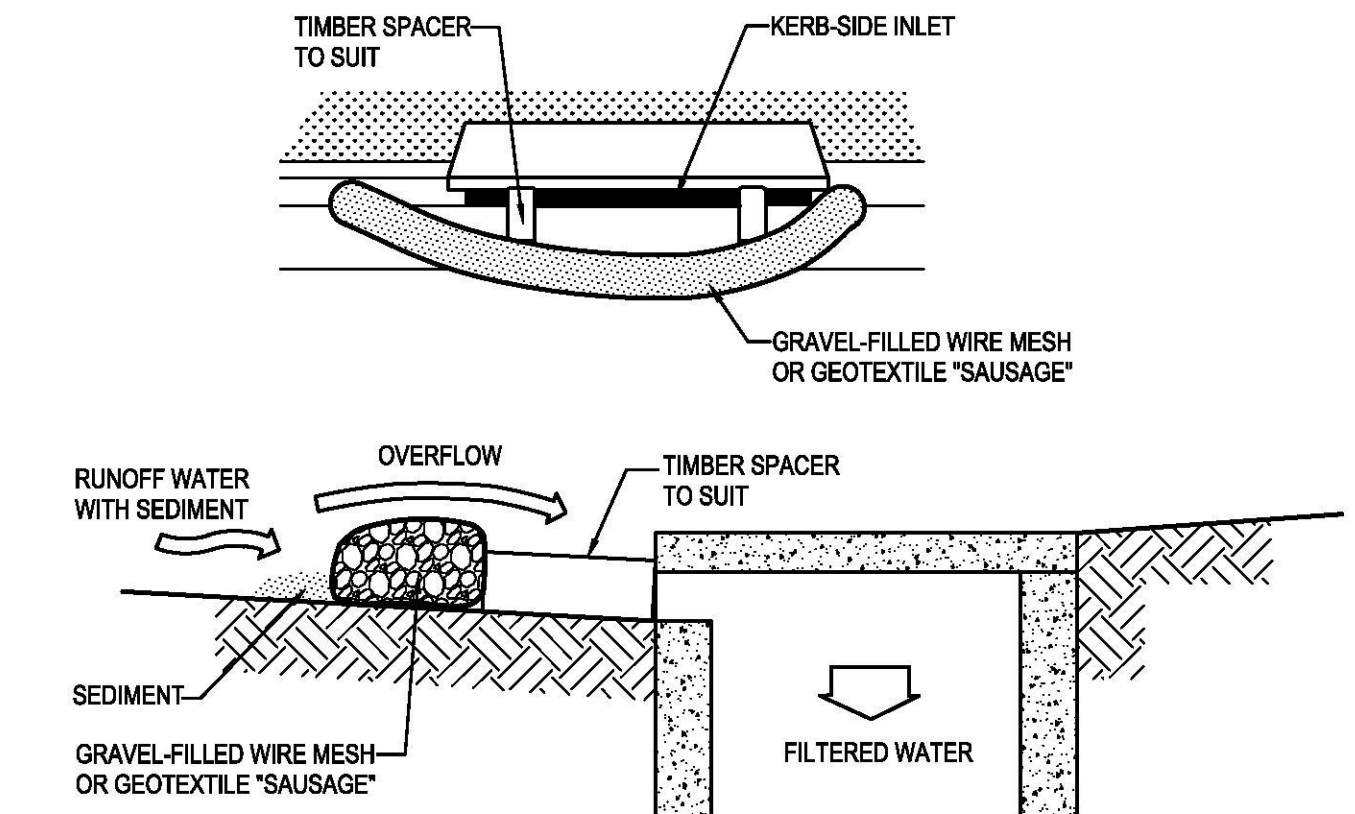
CATCH DRAINS SD 5-8
N.T.S.



GEOTEXTILE INLET FILTER CONSTRUCTION NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE.
2. PICKET SPACING TO BE MAXIMUM 1.0m.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILES UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

GEOTEXTILE INLET FILTER
N.T.S.



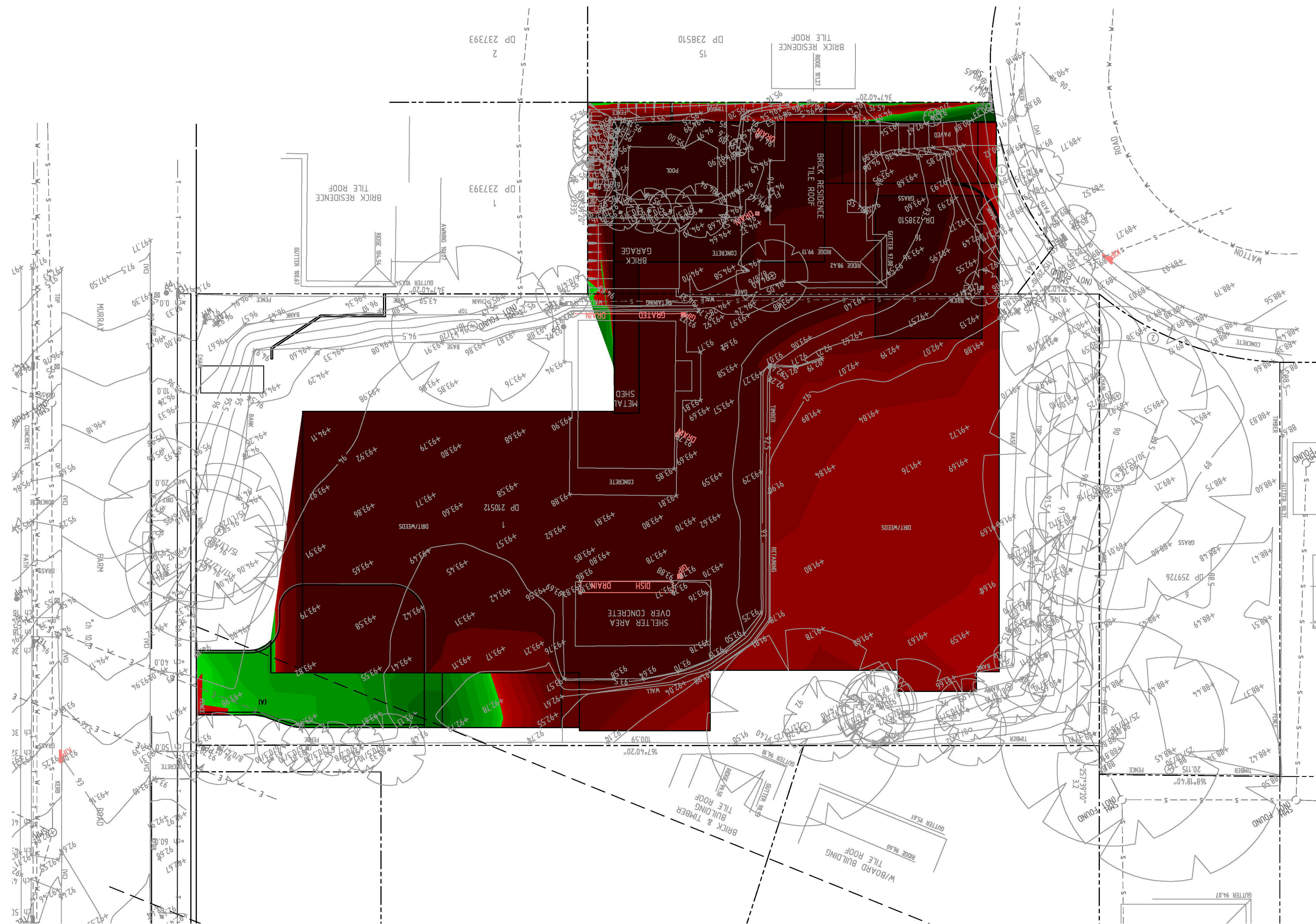
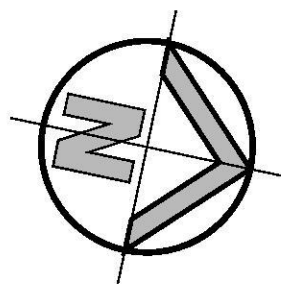
MESH & GRAVEL INLET FILTER CONSTRUCTION NOTES:

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
2. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
3. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
4. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
5. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY CAN FIRMLY ABUT EACH OTHER AND SEDIMENT / LADEN WATERS CANNOT PASS BETWEEN.

MESH & GRAVEL INLET FILTER
N.T.S.

FOR DA ONLY

<div><div><div>SURVEY INFORMATION</div><div>SURVEYED BY LTS LOCKLEY</div><div>DATUM: A.H.D.</div><div>ORIGIN OF LEVELS: SSM107070 RL108.875</div></div></div>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		</
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BULK EARTHWORKS CUT AND FILL PLAN
SCALE: 1:250

LEGEND

DEPTH RANGE			
Lower_value	Upper_value	Colour	
-90	to	-10	Metres
-10	to	-6	Metres
-6	to	-4	Metres
-4	to	-2	Metres
-2	to	-1	Metres
-1	to	-0.8	Metres
-0.8	to	-0.6	Metres
-0.6	to	-0.4	Metres
-0.4	to	-0.2	Metres
-0.2	to	-0.1	Metres
-0.1	to	-0.05	Metres
-0.05	to	.0	Metres
.0	to	.05	Metres
.05	to	.1	Metres
.1	to	.2	Metres
.2	to	.4	Metres
.4	to	.6	Metres
.6	to	.8	Metres
.8	to	1	Metres
1	to	2	Metres
2	to	4	Metres
4	to	6	Metres
6	to	10	Metres
10	to	90	Metres

EARTHWORKS QUANTITIES (APPROXIMATE ONLY)
NOT TO BE USED FOR CONTRACTUAL PURPOSES. TENDERERS TO DETERMINE
VOLUMES USING THEIR OWN METHOD OF CALCULATION.

EARTHWORKS QUANTITIES	
TOTAL AREA (6,087m ²)	
CUT	8,453 m ³
FILL	137 m ³
SPOIL	8,316 m ³

ASSUMED 100mm OF TOPSOIL = 1990 m³ TO BE REMOVED FROM SITE.
EXCAVATION FOR SERVICES TRENCHES NOT INCLUDED.

FOR DA ONLY

SURVEY INFORMATION
SURVEYED BY
LTS LOCKLEY
DATUM: A.H.D.
ORIGIN OF LEVELS: SSM107070 RL108.675

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
02	ISSUED FOR DA ONLY	MC	IA	22.08.2019					
01	ISSUED FOR DA ONLY	JK	IA	07.12.2018					

Client
HB + B PROPERTY
Architect
THOMSON ADSETT
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Project
PROPOSED AGED CARE DEVELOPMENT
47 MURRAY FARM ROAD, CARLINGFORD NSW
Title
BULK EARTHWORKS
CUT AND FILL PLAN

Drawn A. Bray	Designed I. Ahmed	Date DEC. 2018
Checked A. Francis	Approved A. Francis	Scale 1:250 @ A1
Drawing number 16833_DA_BE01		Revision 02

A photograph of a dense forest with tall, slender trees and green foliage, serving as the background for the top half of the page.

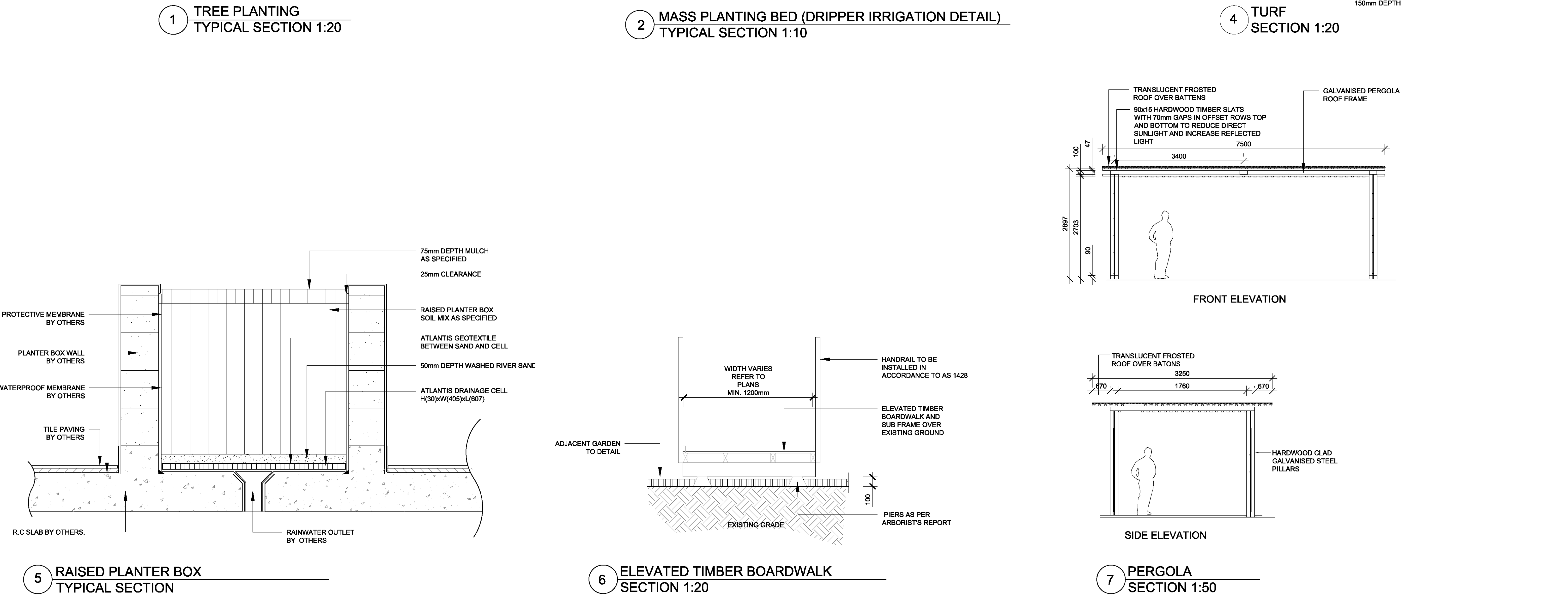
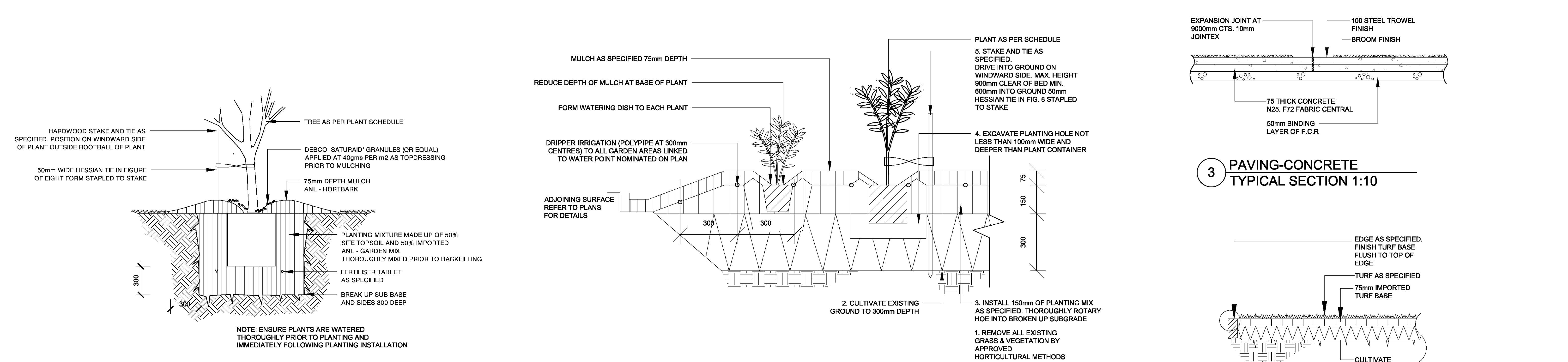
JAPARA HEALTHCARE MURRAY FARM, CARLINGFORD DEVELOPMENT APPLICATION

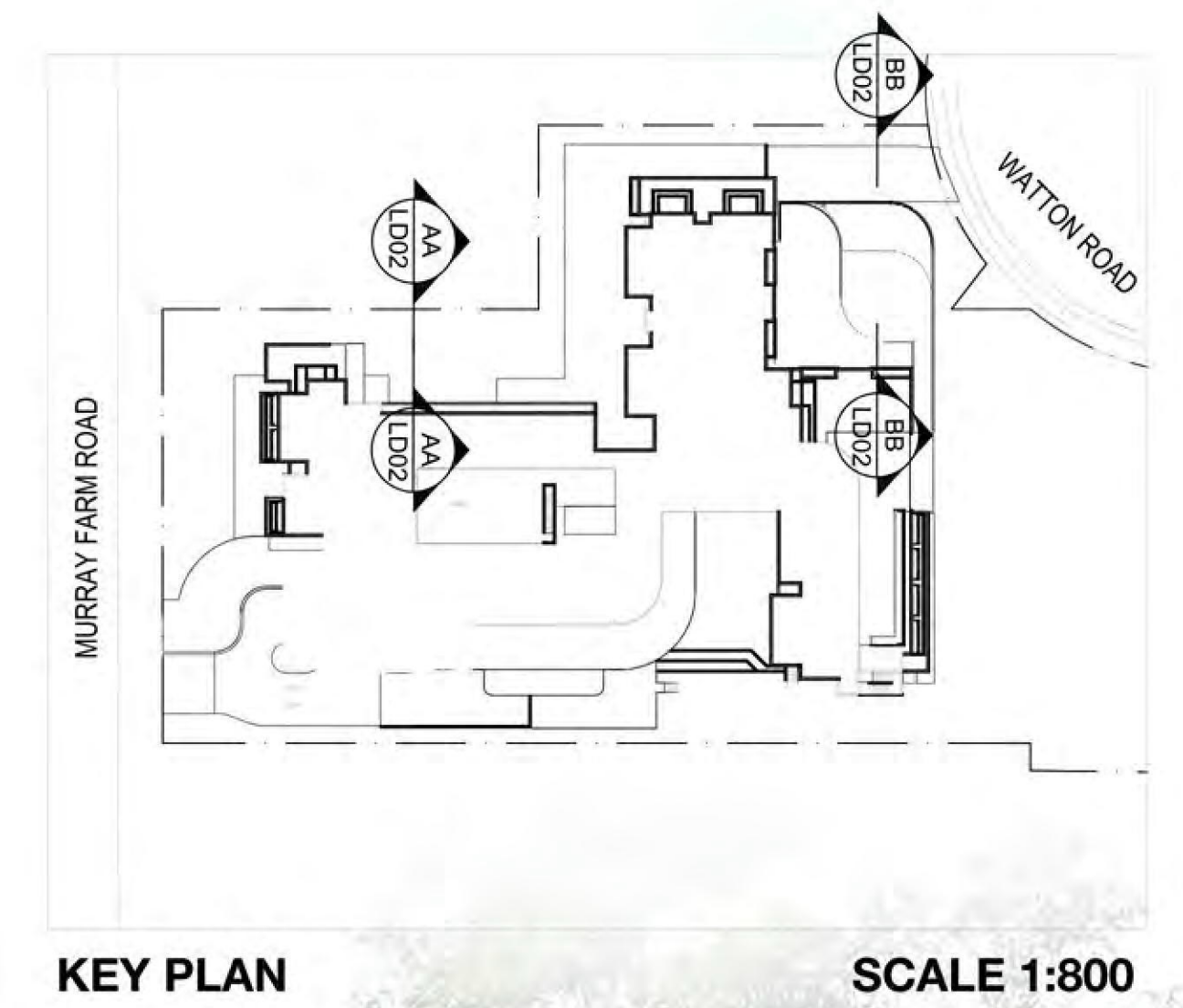
DWG	DRAWING TITLE	SCALE
LA00	COVER SHEET	N/A
LA01	LANDSCAPE MASTERPLAN	1:200
LA02	MURRAY FARM ROAD ENTRY	1:100
LA03	WESTERN COURTYARD	1:100
LA04	AUSTRALIAN BUSHLAND GARDEN	1:100
LA05	PALM AND FERN COURTYARD	1:100
LA06	PLANTING PLAN	1:200
LA07	TREE RETENTION / REMOVAL PLAN	1:200
LD01	LANDSCAPE DETAILS	AS SHOWN
LD02	SECTIONS AA & BB	1:50
LD03	SECTIONS CC & DD	1:50
LD04	PLANTING CHARACTER	N/A

project: 47 Murray Farm Rd, Carlingford
client: Japara Healthcare
date: 12.12.2018
revision: B
drawn: RY
checked: DMT

TaylorBrammer
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
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218 Oxford Street Woolloomooloo, NSW, 2025 E sydney@taylorbrammer.com.au T 61 2 9397 8866
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LA00





LANDSCAPE SECTIONS

project: 47 Murray Farm Rd, Carlingford
 client: Japara Healthcare
 date: 12.12.2018
 revision: A
 drawn: RY
 checked: DMT

TaylorBrammer
 TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
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LD02



1 SECTION CC
1:50



2 SECTION DD
1:50

LANDSCAPE SECTIONS

project: 47 Murray Farm Rd, Carlingford
 client: Japara Healthcare
 date: 12.12.2018
 revision: A
 drawn: RY
 checked: DMT

TaylorBrammer
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LD03



Angophora costata



Lomandra 'Little Con'



Ceratopetalum gummiferum



Hibiscus tiliaceus 'Rubra'



Asplenium nidus



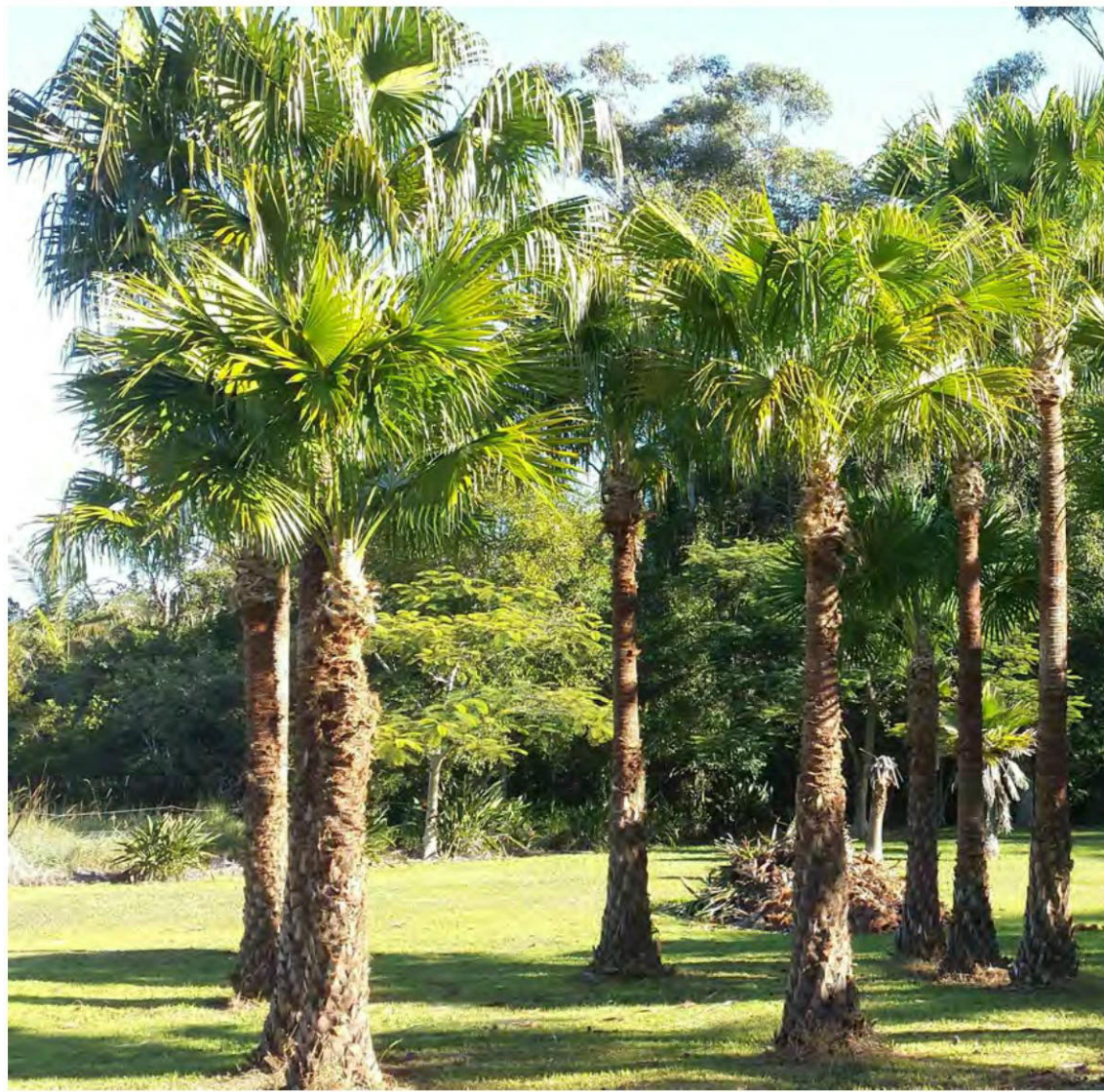
Macrozamia communis



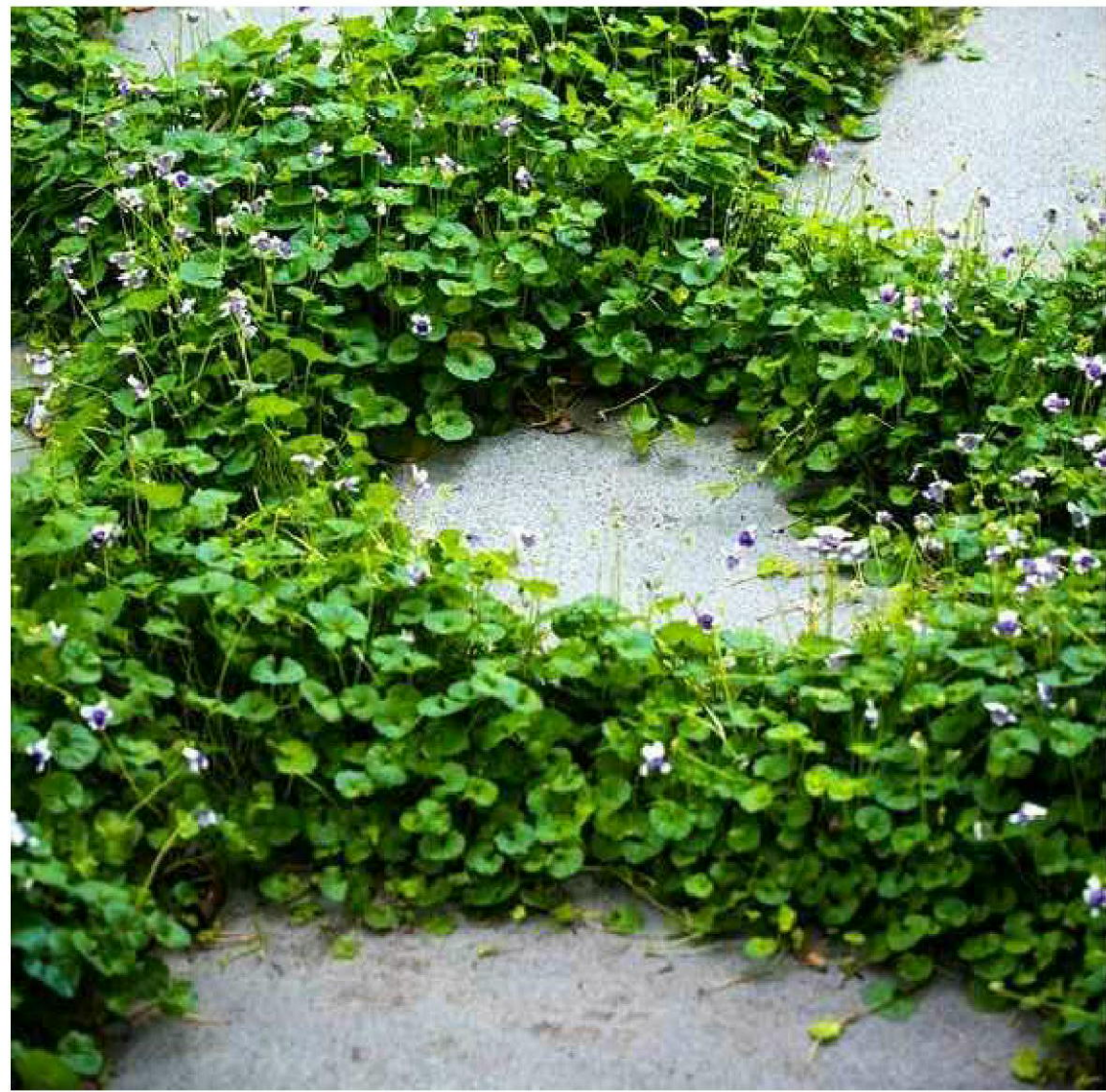
Myoporum parvifolium



Casuarina glauca 'Cousin It'



Livistona australis



Viola hederacea



Cyathea cooperii

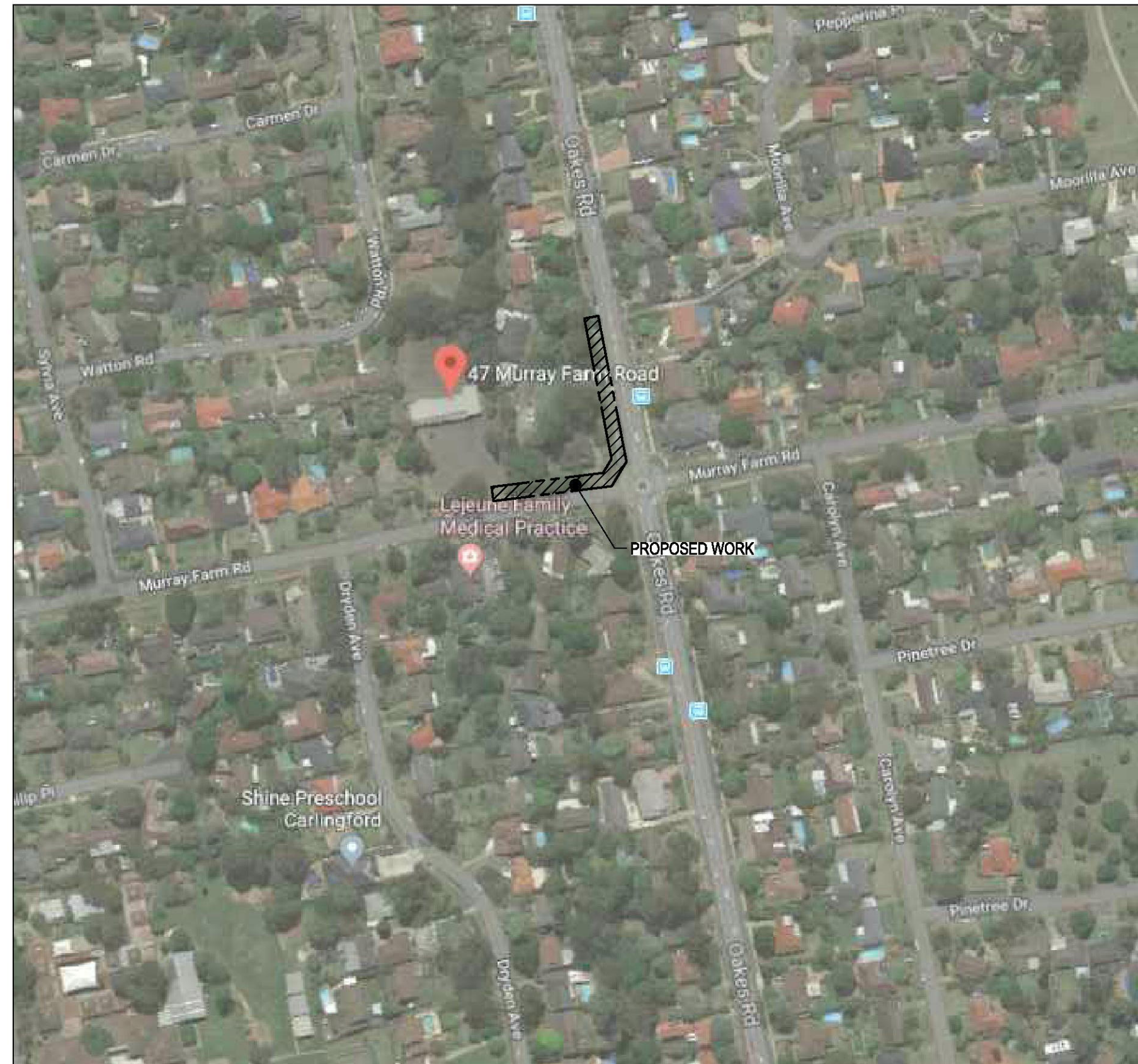


Tristaniopsis laurina

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH PARRAMATTA CITY COUNCIL'S SPECIFICATION. CONTRACTOR TO OBTAIN AND RETAIN A COPY ON SITE DURING THE COURSE OF THE WORKS.
2. ALL NEW WORKS ARE TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS AND MARRY IN A 'WORKMANLIKE' MANNER.
3. THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL SERVICES WITH EACH RELEVANT AUTHORITY. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED BY THE CONTRACTOR OR THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. SERVICES SHOWN ON THESE PLANS ARE ONLY THOSE EVIDENT AT THE TIME OF SURVEY OR AS DETERMINED FROM SERVICE DIAGRAMS. H & H CONSULTING ENGINEERS PTY. LTD CANNOT GUARANTEE THE INFORMATION SHOWN NOR ACCEPT ANY RESPONSIBILITY FOR INACCURACIES OR INCOMPLETE DATA.
4. SERVICES & ACCESSSES TO THE EXISTING PROPERTIES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
5. ADJUST EXISTING SERVICE COVERS TO SUIT NEW FINISHED LEVELS TO RELEVANT AUTHORITY REQUIREMENTS WHERE NECESSARY.
6. REINSTATE AND STABILISE ALL DISTURBED LANDSCAPED AREAS.
7. MINIMUM GRADE OF SUBSOIL SHALL BE 0.5% (1:200) FALL TO OUTLETS.
8. ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, EROSION AND SEDIMENTATION CONTROL PLAN AND PARRAMATTA CITY COUNCIL'S REQUIREMENTS WHERE APPLICABLE.
9. CONTRACTOR TO CHECK AND CONFIRM SITE DRAINAGE CONNECTIONS ACROSS THE VERGE PRIOR TO COMMENCEMENT OF SITE DRAINAGE WORKS.
10. PROPERTIES AFFECTED BY THE WORKS ARE TO BE NOTIFIED IN ADVANCE WHERE DISRUPTION TO EXISTING ACCESS IS LIKELY.

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY THE SURVEYOR SPECIFIED IN THE TITLE BLOCK. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HENRY AND HYMAS PTY. LTD. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT HENRY AND HYMAS PTY. LTD. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

ORIGIN OF LEVELS	SSM107070 RL108.675
DATUM	AHD



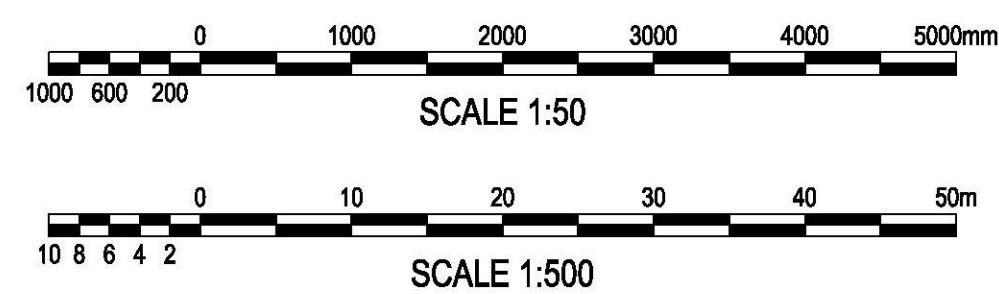
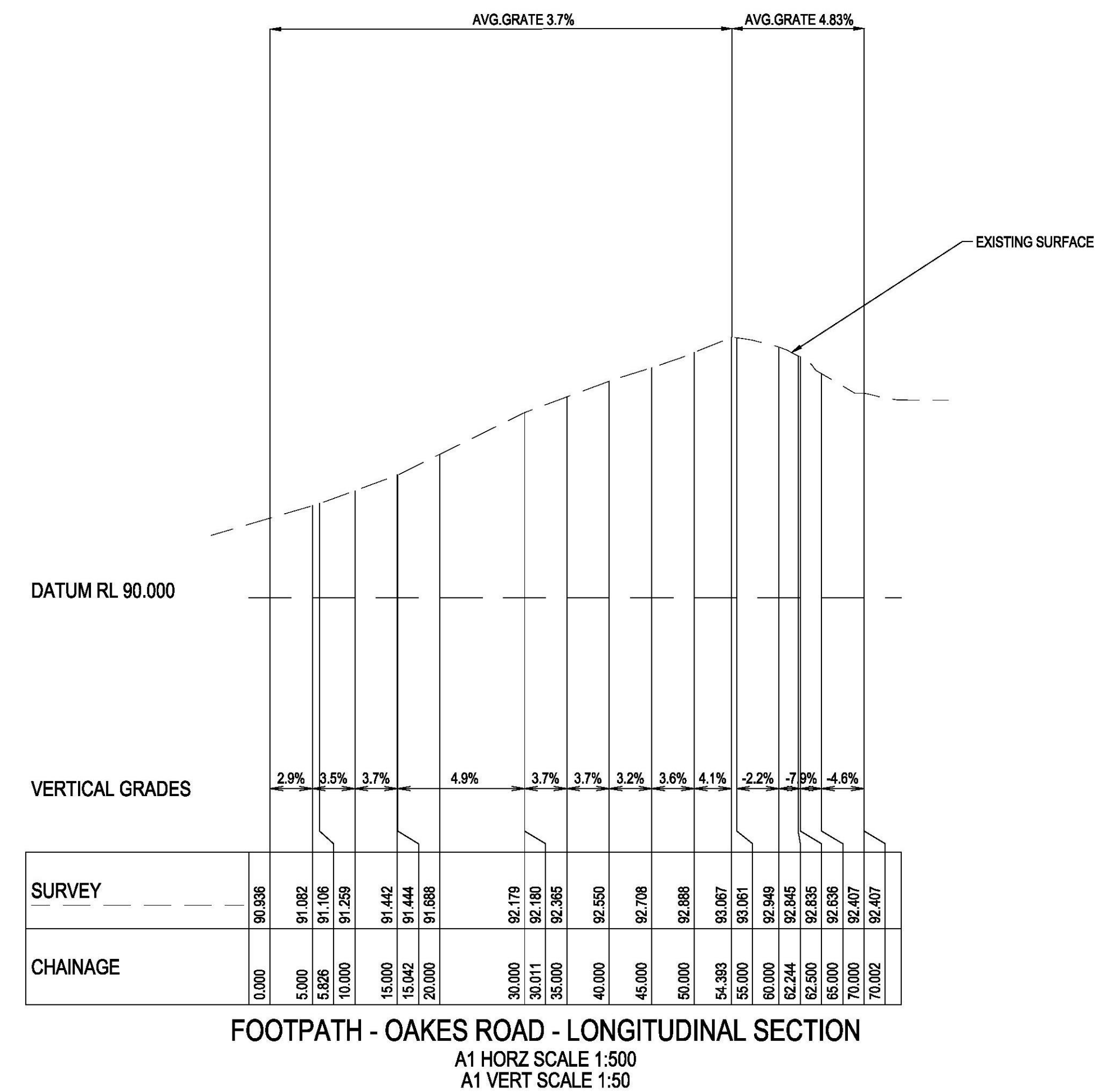
SCALE: NTS

DRAWING SCHEDULE	
16833_DA_EX000	COVER SHEET, DRAWING SCHEDULE, NOTES AND LOCALITY SKETCH
16833_DA_EX100	PUBLIC DOMAIN - DETAIL PLAN
16833_DA_EX120	ROAD LONGITUDINAL SECTIONS
16833_DA_EX130	ROAD CROSS SECTIONS - OAKES ROAD
16833_DA_EX131	ROAD CROSS SECTIONS - MURRAY FARM ROAD

- **DATUM : A.H.D.**
- **ORIGIN OF LEVELS : REFER TO BENCH OR STATE SURVEY MARKS WHERE SHOWN ON PLAN.**
- **CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.**
- **ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE DIRECTIONS OF THE SUPERINTENDENT.**
- **EXISTING SERVICES UNLESS SHOWN ON THE SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.**
- **WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS ACHIEVED.**
- **THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.**
- **CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION IS TO BE UNDERTAKEN OVER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.**
- **CONTRACTOR TO OBTAIN AUTHORITY APPROVALS WHERE APPLICABLE.**
- **MAKE SMOOTH TRANSITION TO EXISTING SURFACES AND MAKE GOOD.**
- **THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE, ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED RELATING TO DEVELOPMENT AT THE SITE.**
- **TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MINIMUM OF 50mm IN BITUMINOUS PAVING.**
- **ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.**
- **GRADES TO PAVEMENTS TO BE AS IMPLIED BY RL'S ON PLAN . GRADE EVENLY BETWEEN NOMINATED RL'S. AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.**
- **ALL COVERS AND GRATES ETC TO EXISTING SERVICE UTILITIES ARE TO BE ADJUSTED TO SUIT NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.**

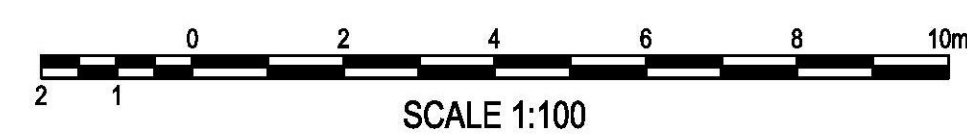
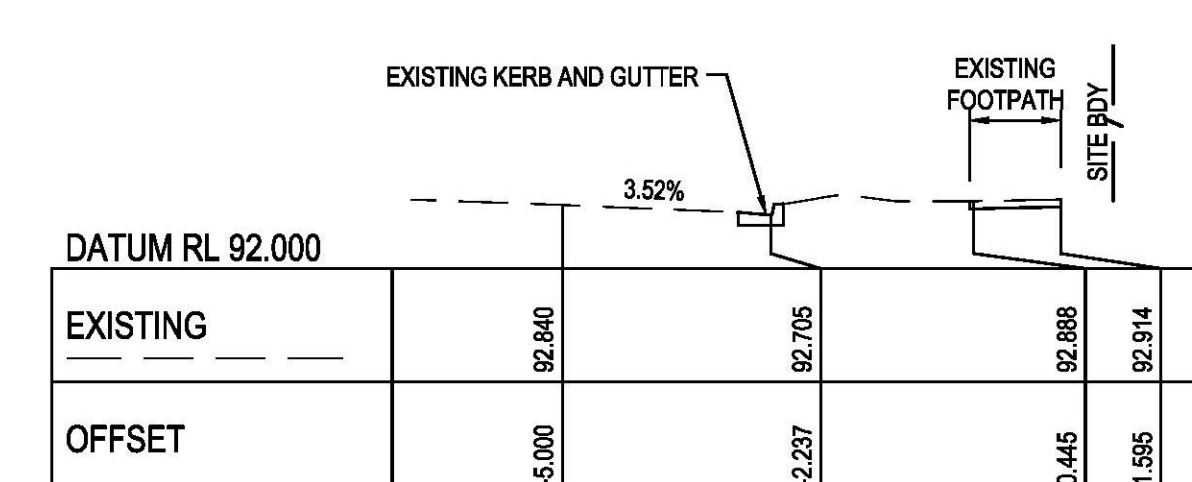
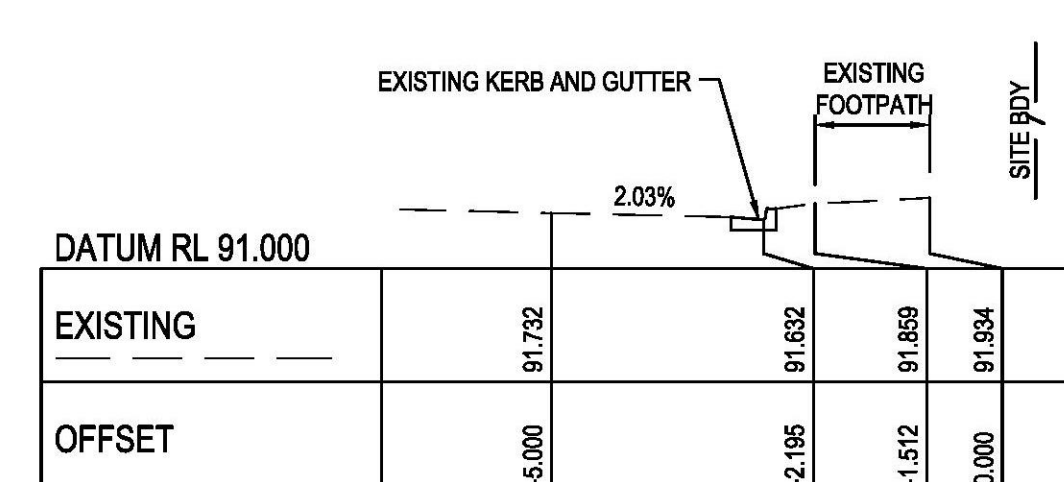
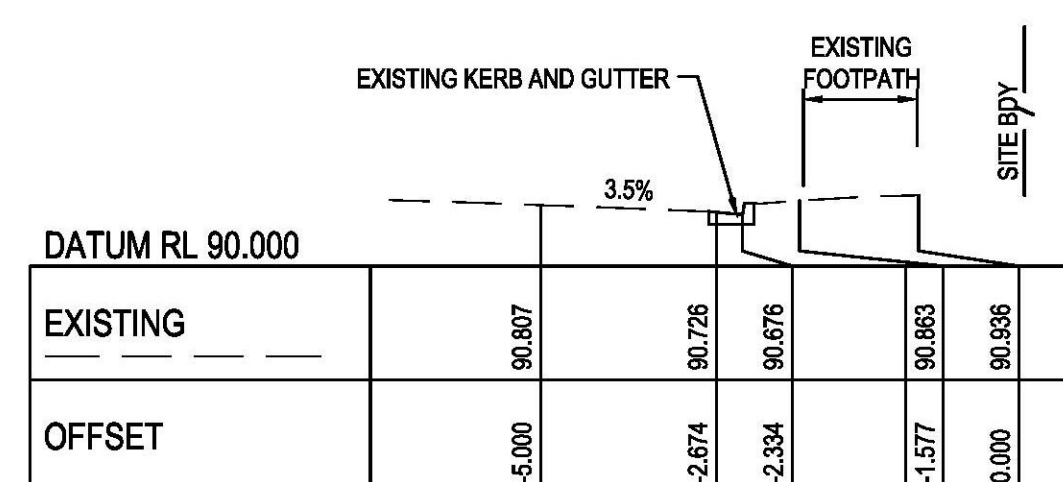
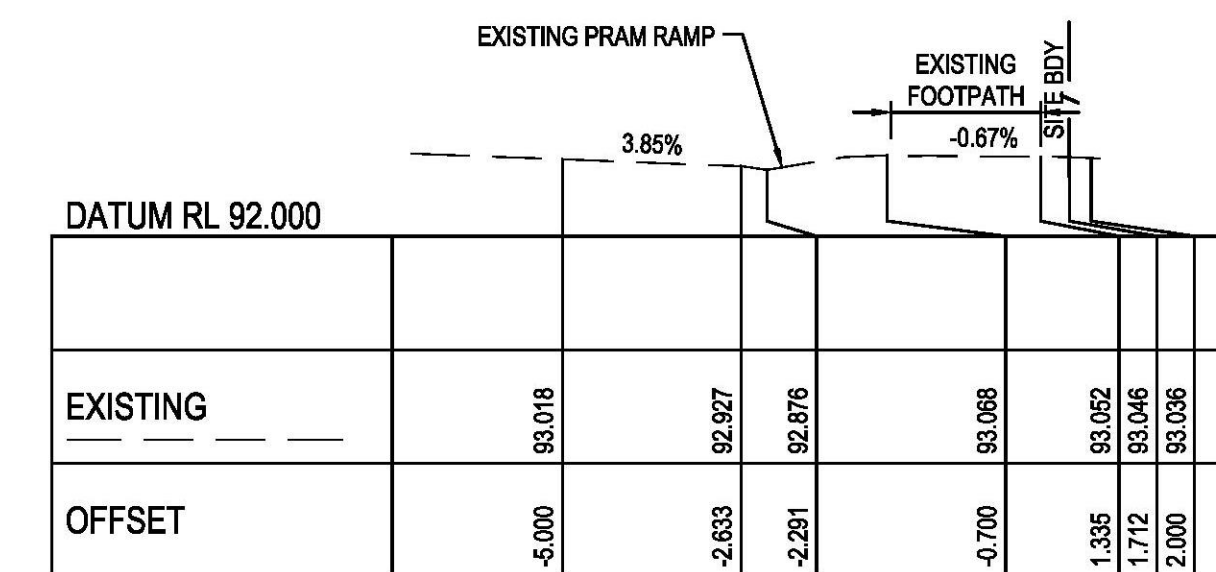
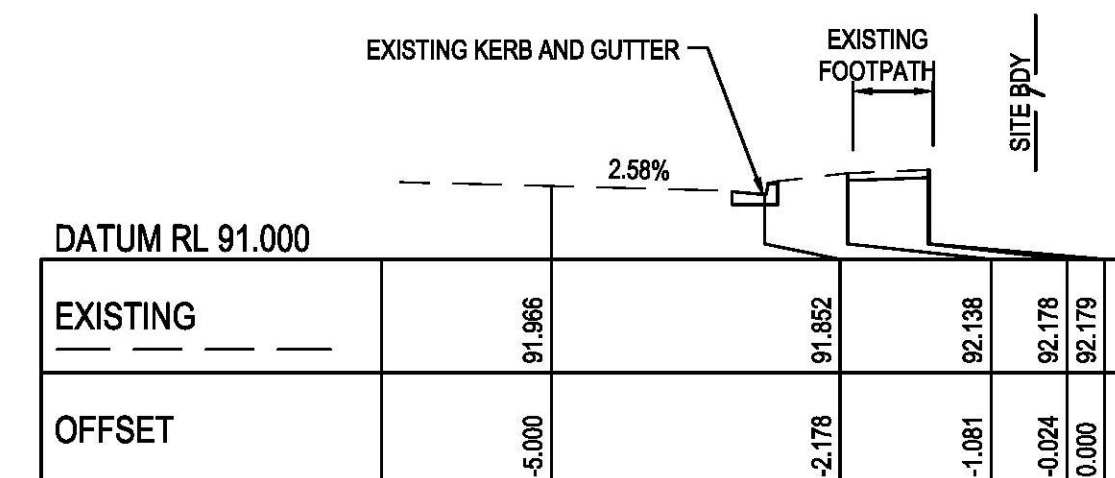
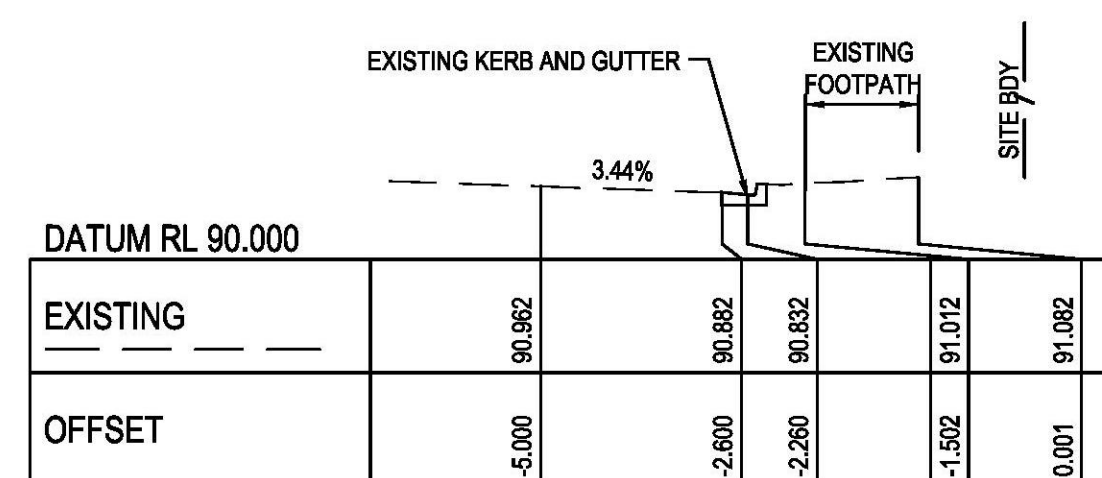
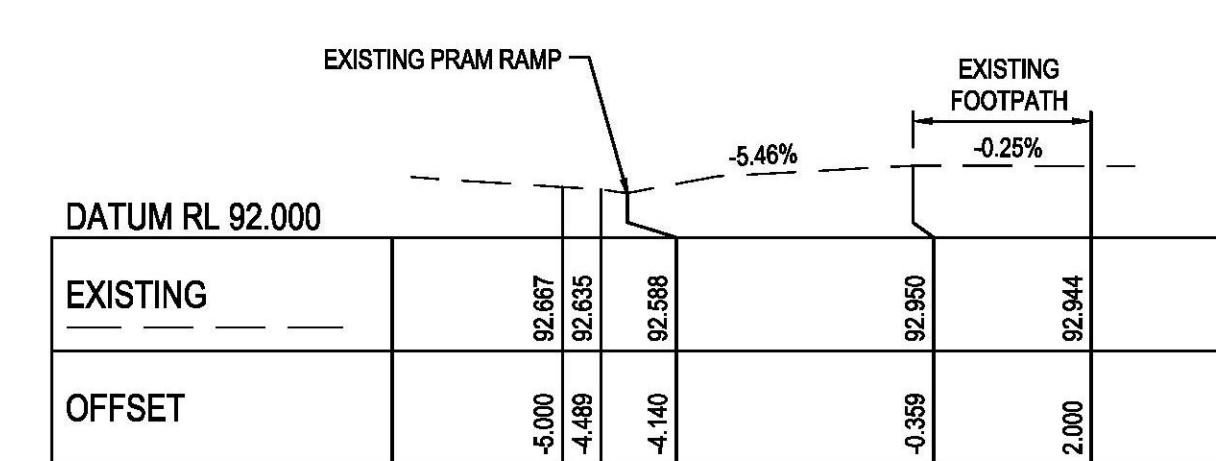
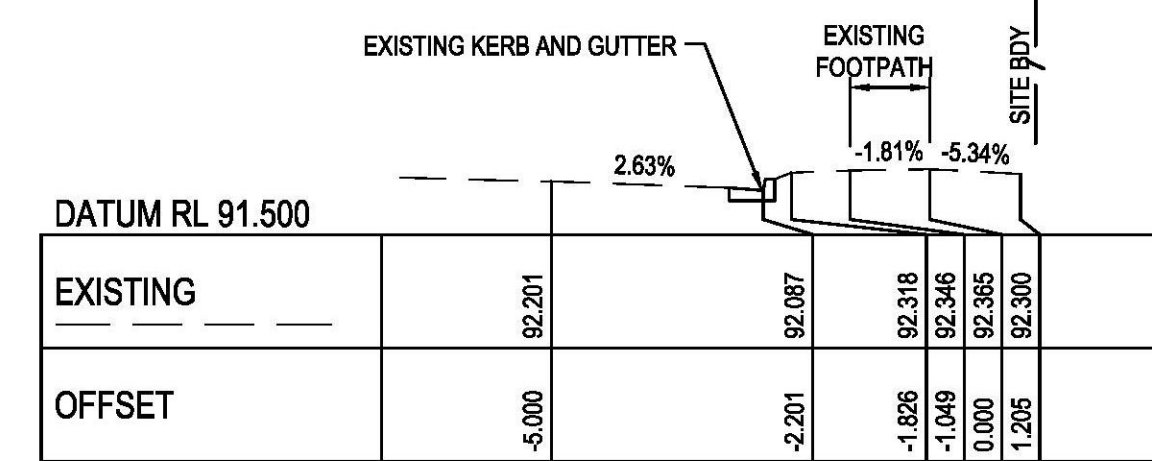
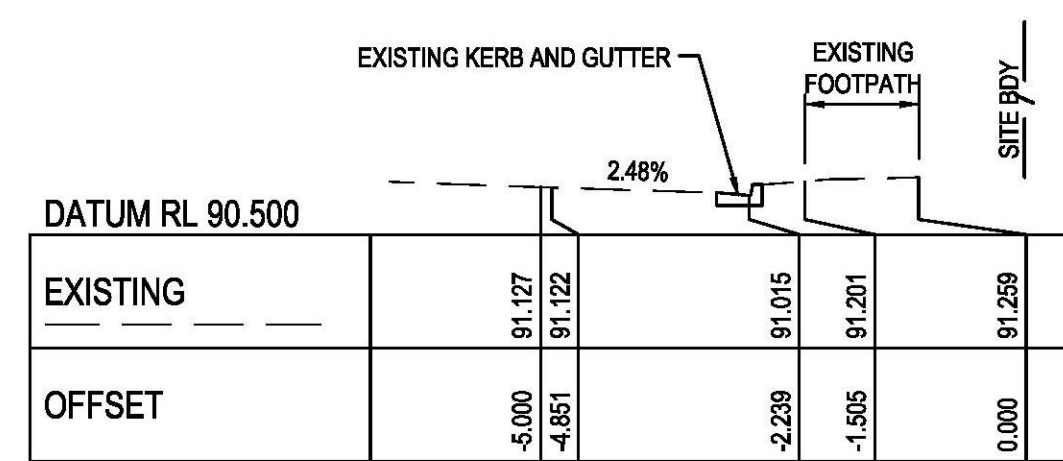
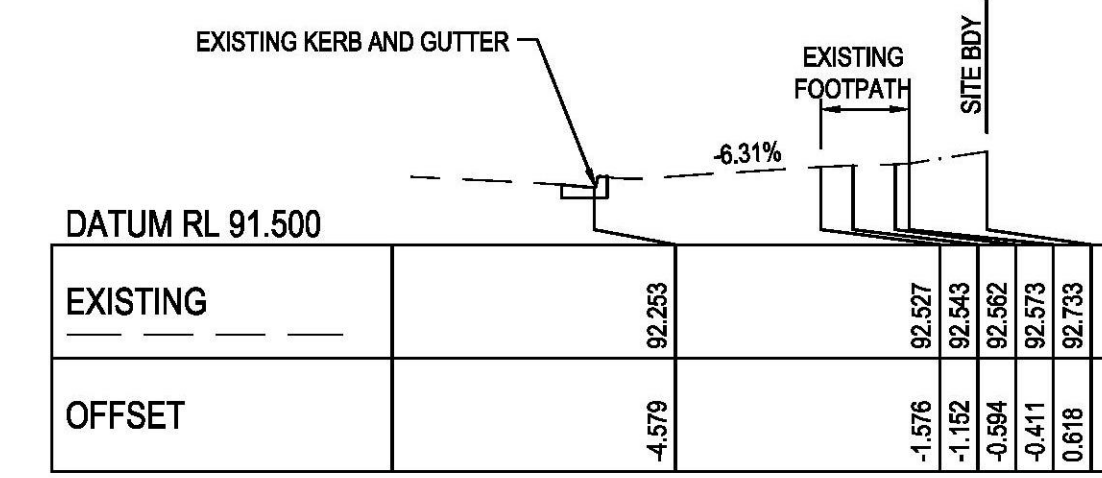
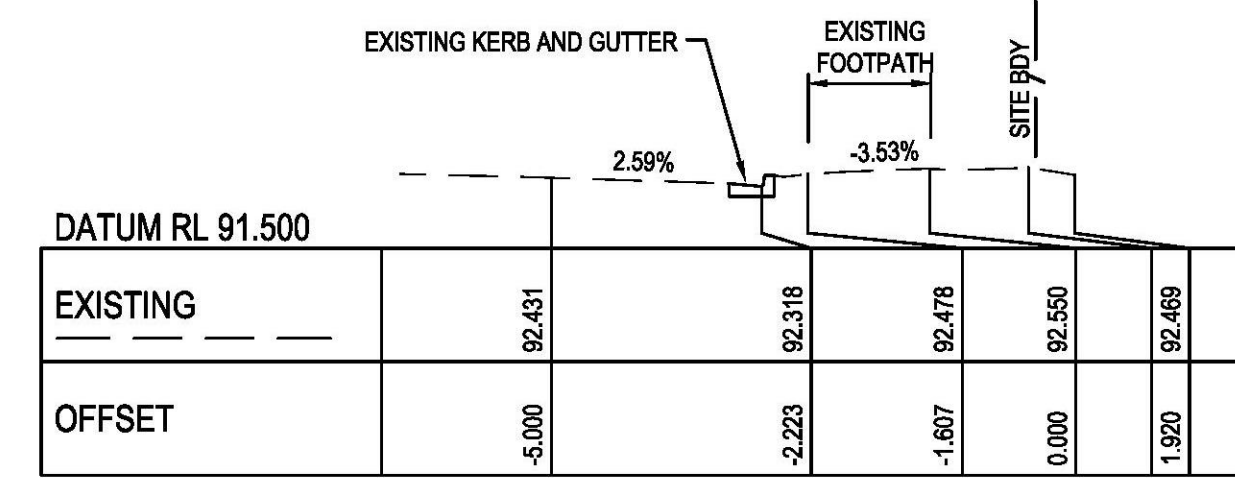
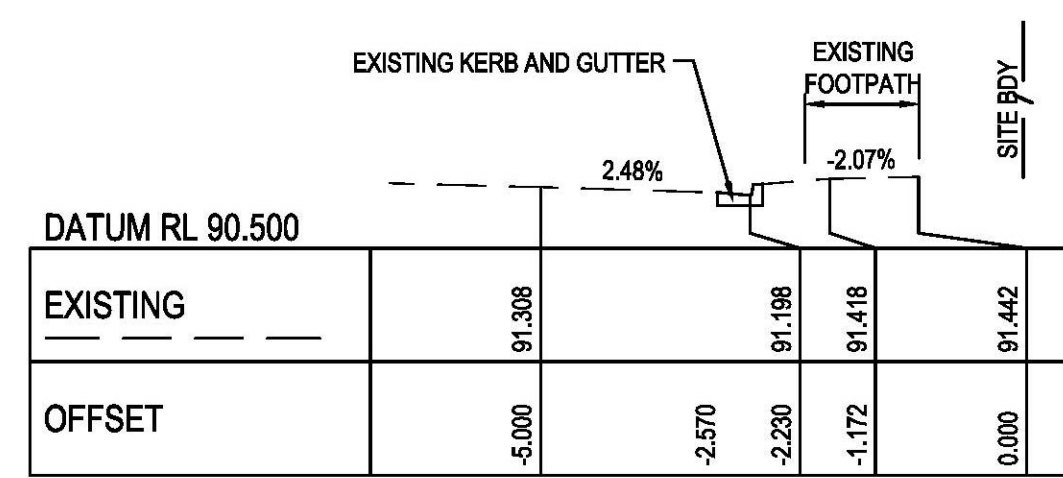
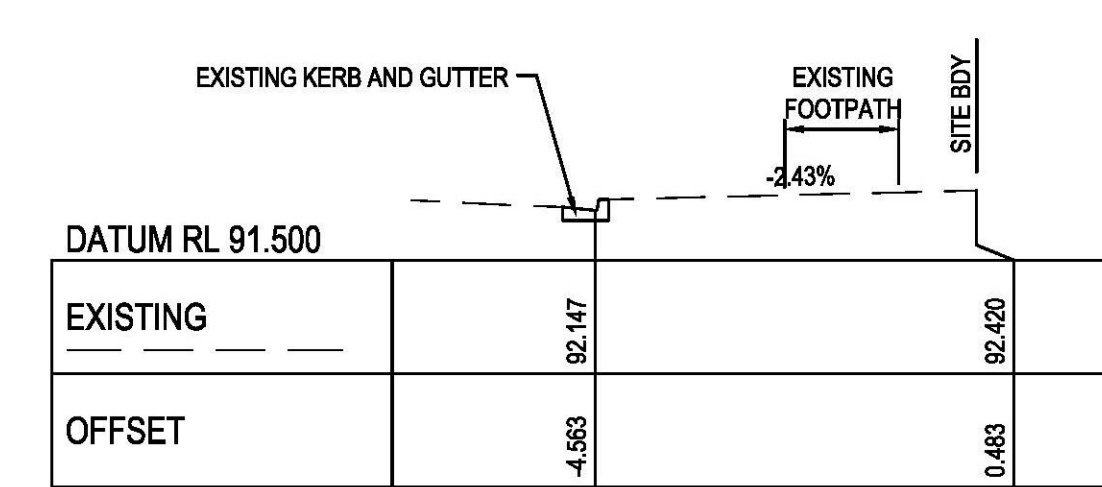
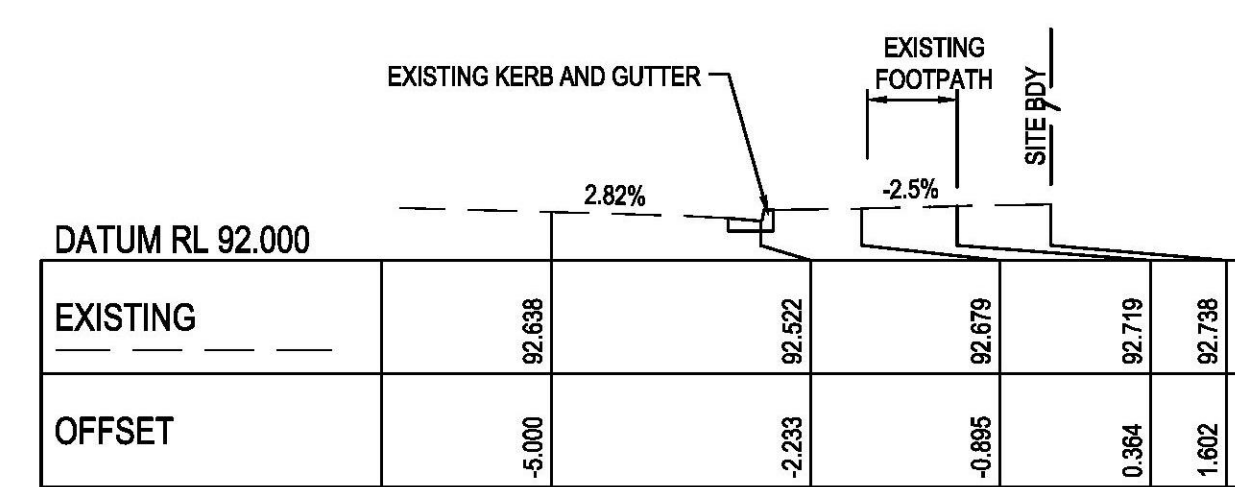
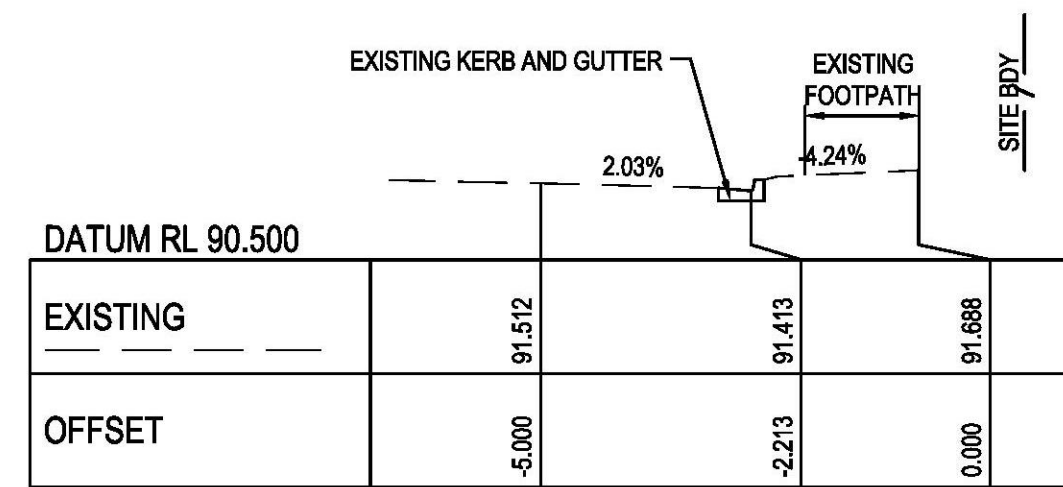
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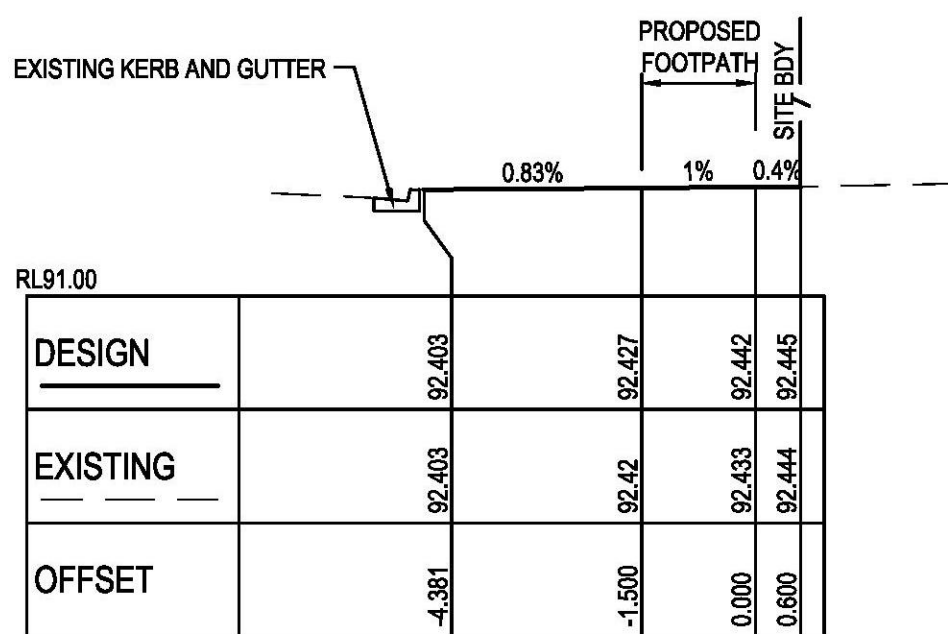
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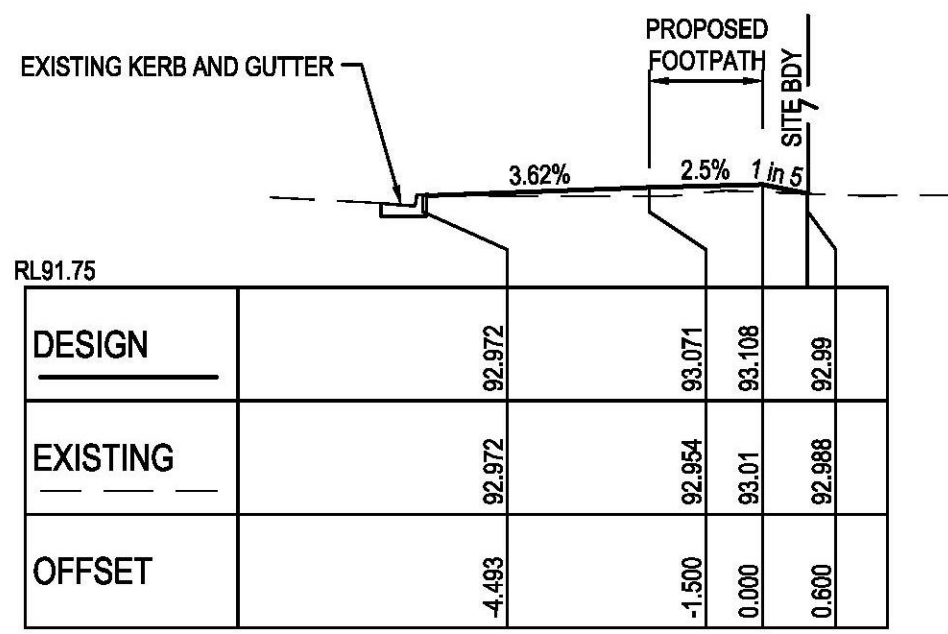


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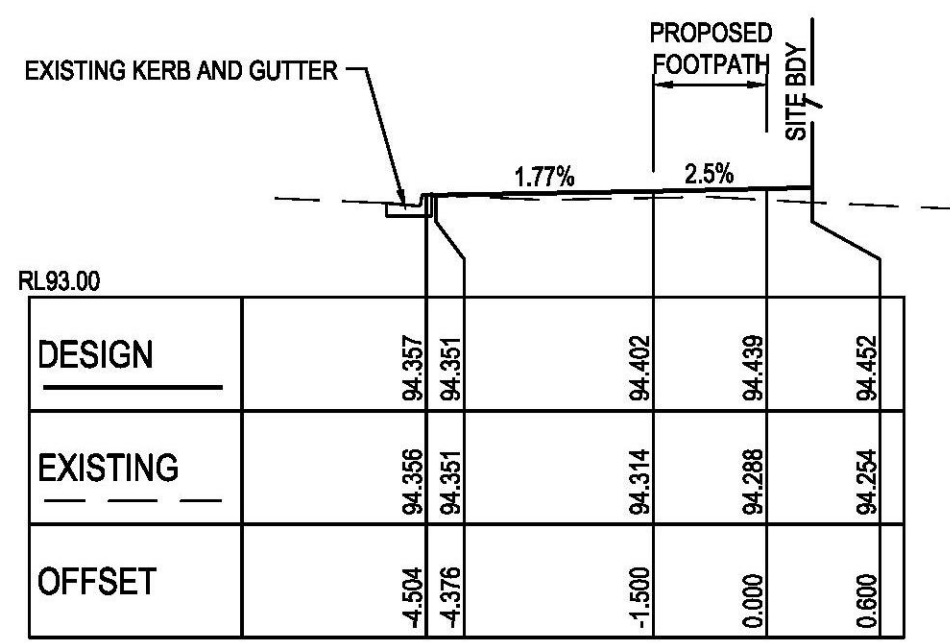
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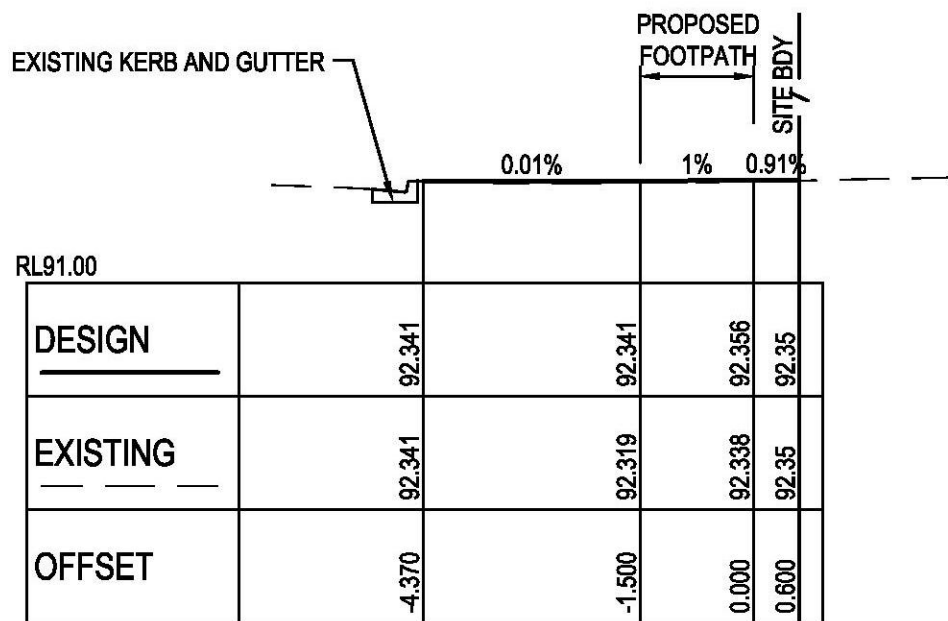
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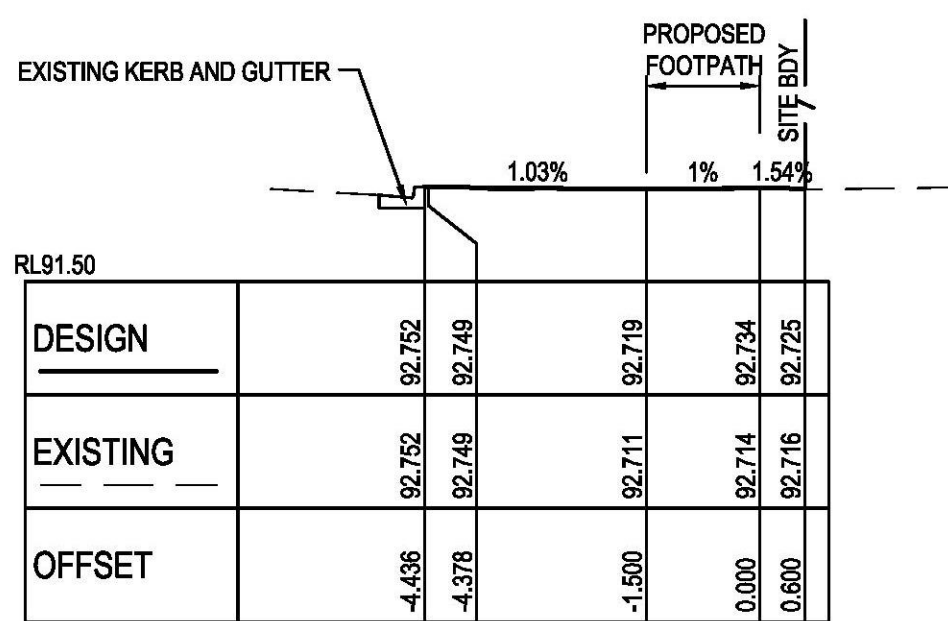
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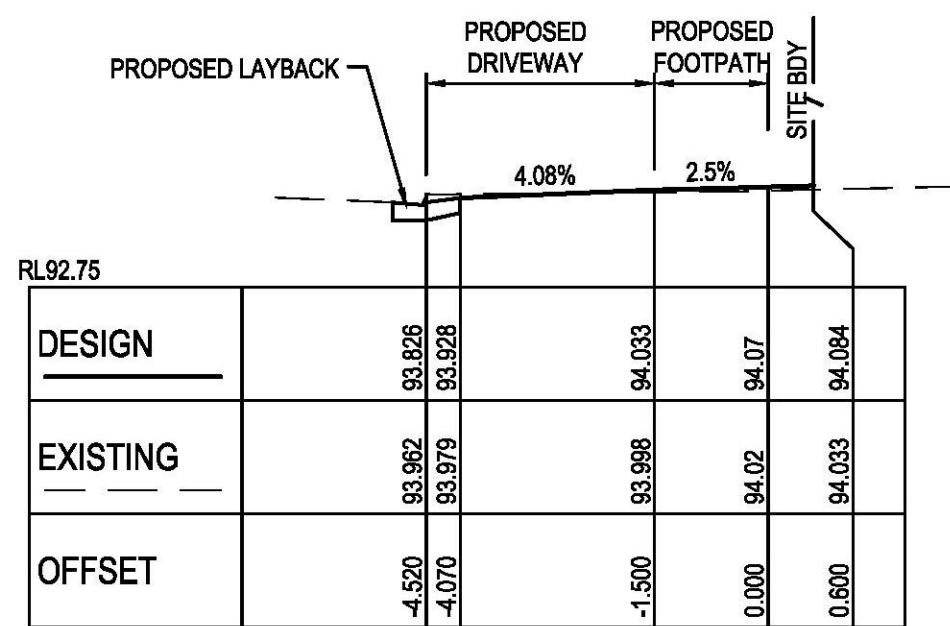
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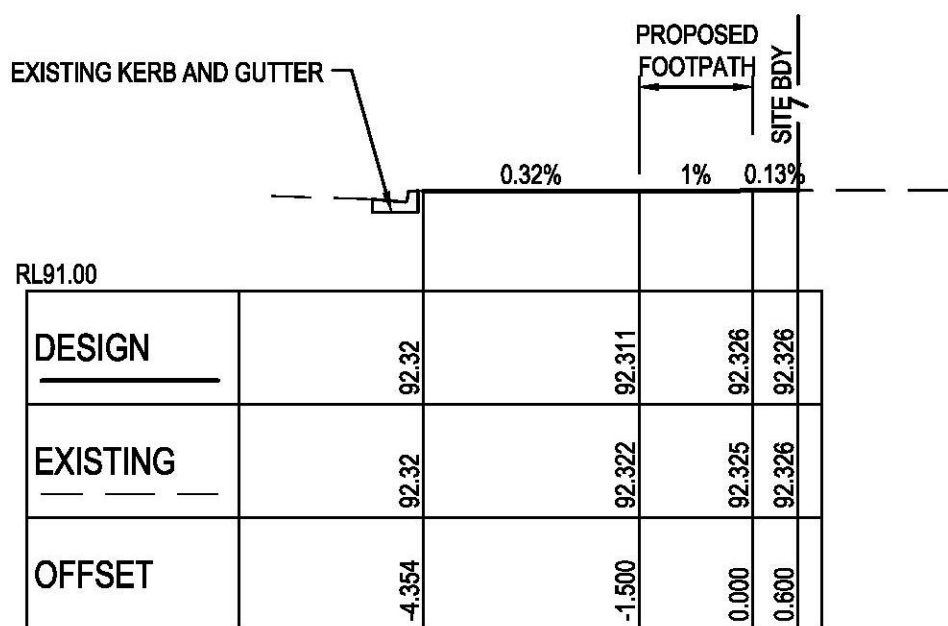
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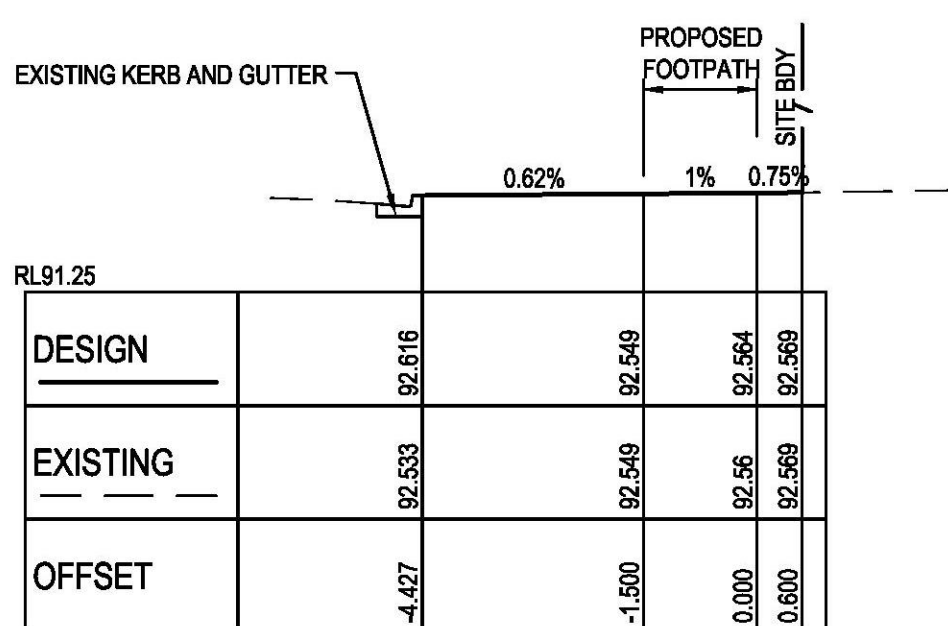
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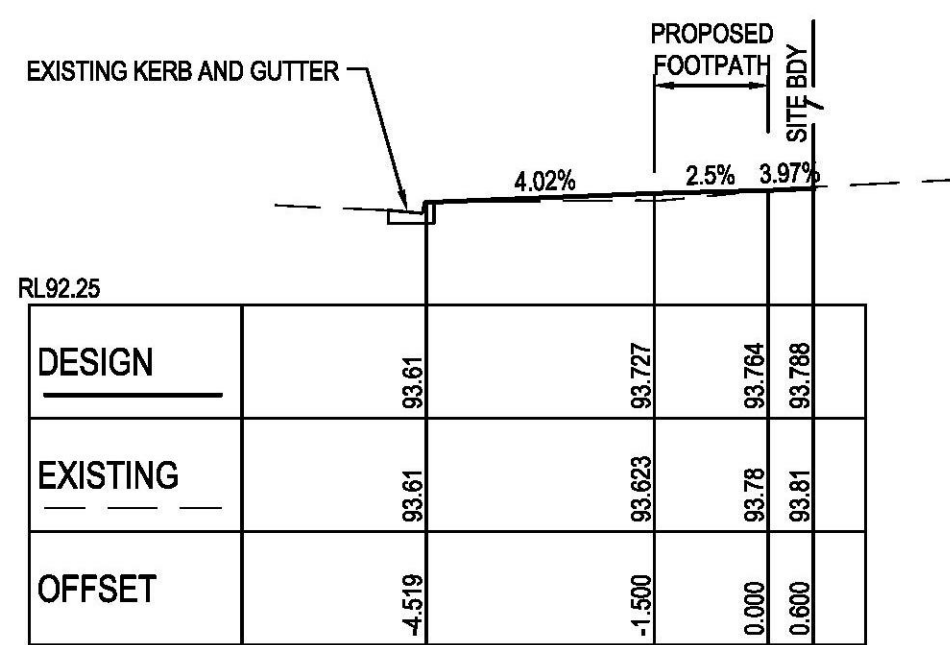
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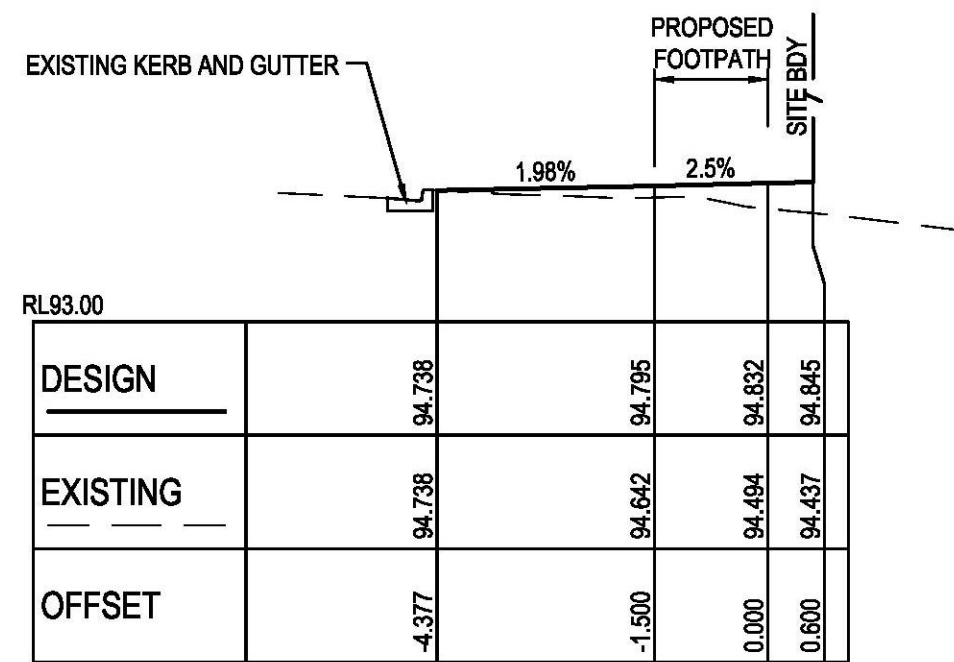
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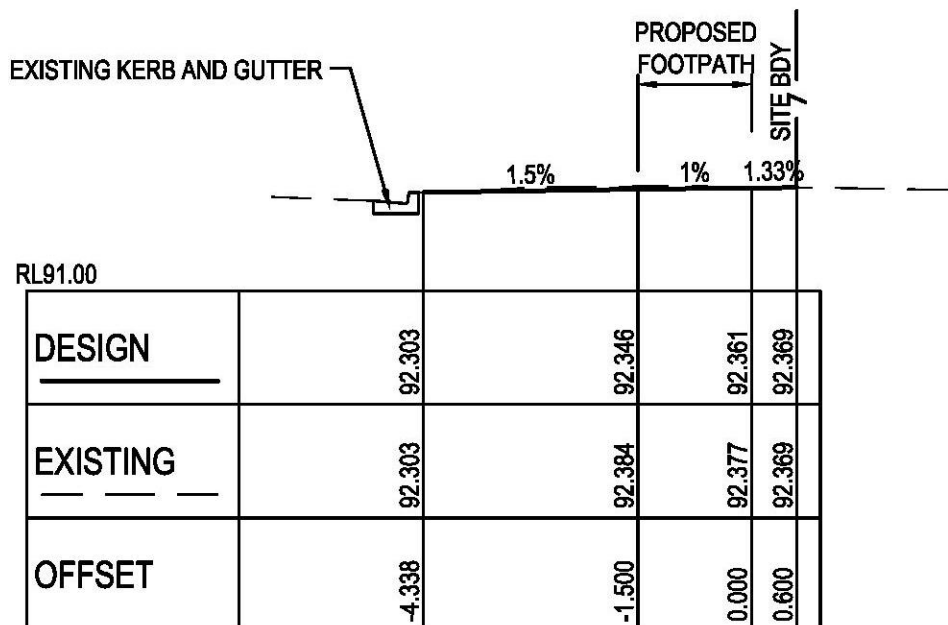
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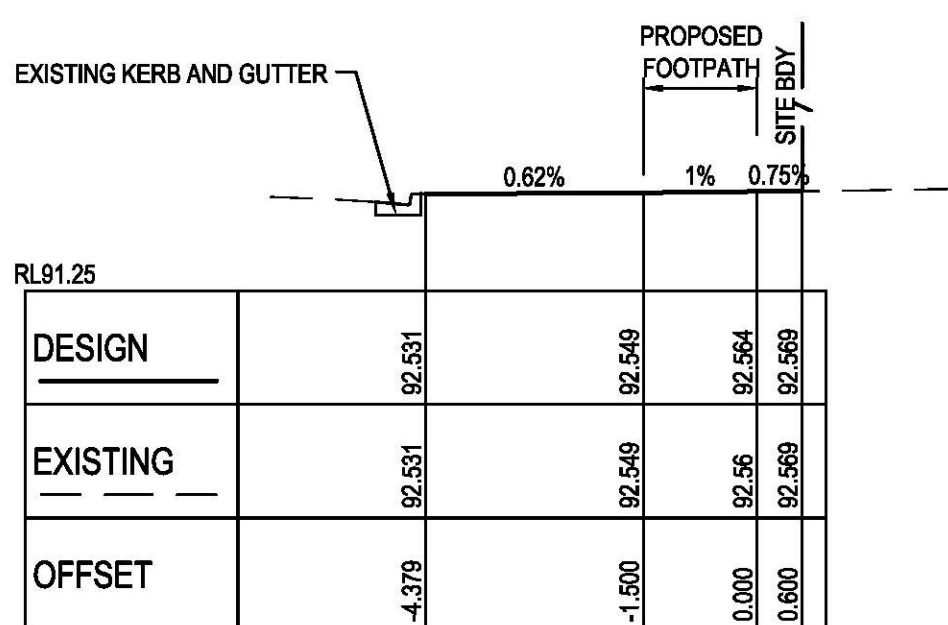
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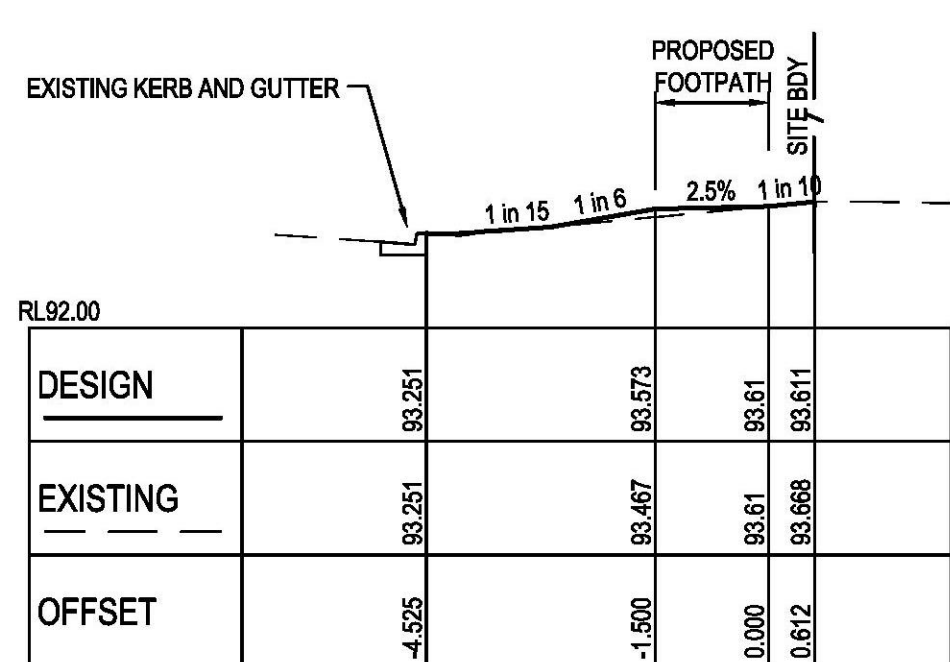
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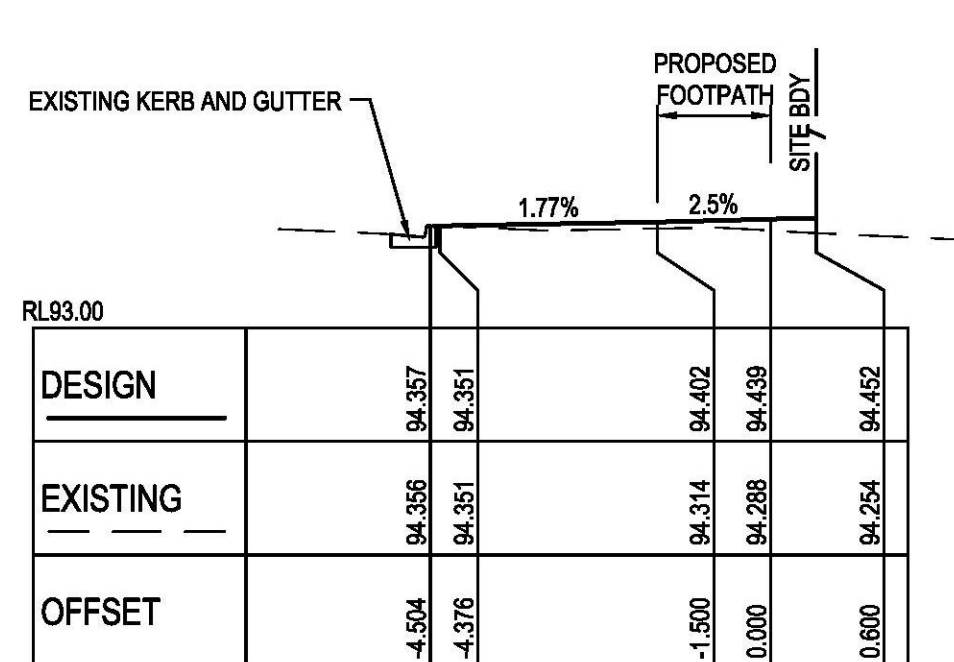
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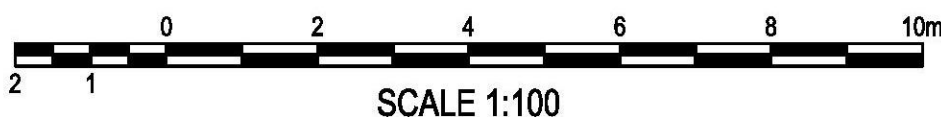
CH 20.000



CH 35.000



CH 50.000



ISSUED FOR APPROVAL

EXISTING
INFORMATION
EXISTING BY
LTS LOCKLEY

DATUM: A.H.D.
ORIGIN OF LEVELS: SSM107070 RL106.675

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
01	ISSUED FOR APPROVAL	MS	IA	02.08.2019					

Client
HB + B PROPERTY

Architect
THOMSON ADSETT

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Project
**PROPOSED AGED CARE DEVELOPMENT
47 MURRAY FARM ROAD, CARLINGFORD NSW**

Title
**ROAD CROSS SECTIONS
MURRAY FARM ROAD**

Drawn M.Stimova	Designed I.Ahmed	Date JULY 2019
Checked A.Francis	Approved A.Francis	Scale @A1 1:100 @ A1
Drawing number 16833_DA_EX131		Revision 01